

**NOTICE OF AGENDA**  
**SANTA CLARA CITY PLANNING COMMISSION**  
**Thursday, October 8, 2020**  
**2603 Santa Clara Drive**  
**Time: 5:30 PM**

NOTICE is hereby given that the Santa Clara City will hold a Planning Commission meeting on the 8th day of October 2020, in the Santa Clara Town Hall located at 2603 Santa Clara Drive, Santa Clara, Utah, which meeting will begin at 5:30 PM. **The meeting will be available live stream on the Santa Clara City or directly to the YouTube link [https://www.youtube.com/channel/UC\\_xLbLm30-XLqM1AEmhpcMA](https://www.youtube.com/channel/UC_xLbLm30-XLqM1AEmhpcMA)** . Council Chambers will be available to residents, we will have limited availability and follow Covid-19 guidelines.

The agenda for the meeting is as follows:

**1. Call to Order:**

**2. Opening Ceremony:**

- Pledge of Allegiance: Ryan Anderson
- Opening Comments: (Invocation): Ryan Anderson

**3. Communications and Appearances:**

**A. General Citizen Communication**

**4. Working Agenda:**

**A. Public Hearing(s)**

1. Public Hearing to receive public input to consider a Project Plan which consists of a site plan and building elevation drawings for a Tagg N Go car wash in a Planned Development Commercial zone located at approximately 3488 Pioneer Parkway, in front of the Harmons store. Conner Atkins; RCG LLC applicants.
2. Public Hearing to receive public input on a proposed amendment to Title 16 Subdivision ordinance section 16.24.080 to reduce a landscape strip to accommodate a needed turning lane at intersection.

**B. General Business**

1. Recommendation to City Council to consider a Project Plan which consists of a site plan and building elevation drawings for a Tagg N Go car wash in a Planned Development Commercial zone located at approximately 3488 Pioneer Parkway, in front of the Harmons store. Conner Atkins; RCG LLC applicants.
2. Recommendation to City Council to consider a proposed amendment to Title 16 Subdivision ordinance section 16.24.080 to reduce a landscape strip to accommodate a needed turning lane at intersection.
3. Recommendation to City Council of 2<sup>nd</sup> Amended Final Plat for Ocotillo Springs phase 3, located south of North Town Road and east of 400 East Street. Jared Bated, representing.

**5. Discussion Items**

**A.** Training Topic; The General Plan

**6. Approval of Minutes**

**A.** Request Approval of September 10, 2020 Regular Meeting minutes.

**7. Adjournment**

Note: In compliance with the Americans with Disabilities Act, individuals needing special accommodations during this meeting should notify the City at least 24 hours in advance of the meeting by calling (435) 673-6712.

**Electronic Meetings Policies**

Pursuant to the Executive Order issued by Governor Gary Herbert on March 18, 2020 regarding Electronic Public Meetings, please be advised that meetings will be held electronically. An anchor location will be located at the Santa Clara City Hall Council Chambers located at 2603 Santa Clara Drive, Santa Clara Utah. No more than 20 people will be permitted to enter the building. Full Agendas, meeting packets, and archive minutes/recordings can be found on the City calendar at: <https://sccity.org/events/> or <https://sccity.org/agendas-minutes/>.

**Live Stream Viewing & Public Hearings:** Meeting Live Streams and Recordings can be found on the Official Santa Clara City YouTube Channel. The link can be found on our website main page: <https://sccity.org/> or [https://www.youtube.com/channel/UC\\_xLBlm30-XLqM1AEmhpcMA](https://www.youtube.com/channel/UC_xLBlm30-XLqM1AEmhpcMA). Persons who would like to comment on Public Hearings may do so by filling out the Public Comment form through our website at <https://sccity.org/public-hearings/>. The City will be taking Public Comment beginning the day the Agenda is published and until the Public Hearing is closed. Comments submitted prior to the close of the public comment period will be read into the record.

**Zoom Meeting Participants:** Participants on the Zoom call are limited to City Staff, Council Members, and applicants on the Agenda. E-mail calendar invitations will be sent out in advance of the meeting. Instructions for each meeting will include the meeting link, ID, and password to join. When joining the meeting your screen name must show your Full Name. Each applicant will be accepted into the meeting when their item is up for discussion. Submissions from this form will be sent directly to the City. Please contact Chris Shelley at (435) 673-6712 Ext. 203 with any questions regarding Public meetings.

Posted this 28th day of September 2020.

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Corey Bundy-Community Development Director

**Planning Commission agenda report for 10/8/20;  
Consider a Project Plan which consists of a site plan and building elevation drawings for a Tagg N Go car wash in a Planned Development Commercial zone located at approximately 3488 Pioneer Parkway, in front of the Harmons Store.**

Zone: PD Commercial

General Plan designation: Main Street Commercial

Acres: 1.1 acres

Applicant: Tagg N Go Car Wash

Project Engineer: Eric McFadden, Premier Design & Engineering

Project location: Pad #3 in front of Harmons Store on Pioneer Parkway

**PD-Commercial Zone:** The applicant requests approval of the site plan and building elevation drawings for a Tagg N Go car wash on pad #3 in front of the Harmons Store on Pioneer Parkway. **The PD-Commercial zone requires that the PC hold a public hearing on the Project Plan which consists of both a site plan and building elevation** drawings for the proposed automatic car wash facility. The PC should make a recommendation to the City Council regarding the proposed Project Plan.

**Use:** The PD-C zone lists “auto repair, completely enclosed” as a Permitted Use and the car wash is a nearly enclosed building with openings at the entrance and exit. Staff feels this meets the intent of the zone.

**Site Plan:** The proposed 4,961 sq ft single-level (with flat roof) building runs perpendicular to Pioneer Parkway. The building is 22’ in height and has an exterior of synthetic stucco and stone veneer. Cars enter the automatic car wash from the south and exit to the north into the large common parking area. There are also 14 stations for car vacuums, and an additional 6 spaces for employees and customers.

The site plan shows a 17’ wide drive thru lane partially within the front setback area. The existing 16’ wide landscape strip at the front of lot (near Pioneer Parkway) will be reduced by 5’ for an additional 5’ of sidewalk width (10’ wide sidewalk). The 11’ wide landscape strip along Pioneer Parkway will be augmented with another 11,422 sq ft of landscaping elsewhere on the site. Overall about 33% of the site is in landscaping according to the site plan legend. Also, two sidewalk planter boxes are shown on Pioneer Parkway frontage. The parking lot lights should be shielded (hooded) to prevent light pollution off-site.

**Building Elevation Drawings:** The 22’ tall building has an exterior of synthetic stucco and stone veneer in a tan color. This will be the third Tagg N Go car wash in the St George – Santa Clara area, with existing car washes on Sunset Blvd and River Road in St George.

**Staff Recommendation:** Landscaping is critical to the appearance of this property and others along Pioneer Parkway and Rachel Drive. Because this site has substantial landscaping throughout the site, the PC and CC would be justified in reducing the front landscape strip to approximately 11’ wide, and allowing the drive thru lane to extend into the front setback area.



**Santa Clara City**  
 2603 Santa Clara Drive  
 Santa Clara City, Utah 84765  
 Office: 435-656-4690 / Fax 435-879-5298  
 www.sccity.org

**COMMERCIAL ZONE APPLICATION AND SITE PLAN CHECKLIST**

Filing Fee: Refer to City's Development Fee Schedule  
 Note: Submittal of incomplete application could delay processing.

**Applicant(s) / Property Owner(s) Information**

Name of Applicant(s) / Contact Person(s):

Name: RCQ LLC  
 Address: Po Box 911839  
 City: St. George UT  
 State: UT Zip: 84791  
 Contact Number: 435-669-0708

Name: Conner Arkin  
 Address: Po Box 911839  
 City: St. George  
 State: UT Zip: 84791  
 Contact Number: 435-669-0708

Attach additional sheet if more than two applicants.

Name of Property Owner(s):

Name: Harmon City Associates, LC  
 Address: 3540 S. 4100 W. #500  
 City: West Valley City  
 State: UT Zip: 84120  
 Contact Number: 801-967-9773

Name: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 City: \_\_\_\_\_  
 State: \_\_\_\_\_ Zip: \_\_\_\_\_  
 Contact Number: \_\_\_\_\_

Attach additional sheet if more than two property owners.

**Property Description**

Address/Location of Property (Attach legal description): 3540 W. Pioneer Pkwy, Santa Clara, UT  
Pad D 84765

Major Street(s): Pioneer Parkway & Rachael Dr  
 Section(s): \_\_\_\_\_ Township(s): \_\_\_\_\_ Range: \_\_\_\_\_  
 Parcel Size (acres): 1.174  
 Present Land Use: Retail

**Application Submittal Requirements**

- 1) Submit one (1) original copy of a completed application for staff/Technical Review Committee review. An additional eleven (11) copies will need to be submitted, which have incorporated staff recommended changes, for Planning Commission review.
- 2) Legal Meets & Bounds Description of Property: Exact legal description prepared and stamped by licensed surveyor and a survey map or property ownership plat. If there are multiple property owners, all properties must be combined into one legal description. If the properties are not contiguous, a separate application and legal description must be submitted for each property. For requests for multiple zoning districts, a separate application and legal description must be submitted for each district requested.
- 3) Additional sheets, if necessary, with multiple owners and/or applicants information.
- 4) Fees: Refer to attached *Development Fee Schedule for Santa Clara City*. Fees are subject to change from time-to-time as approved by the Santa Clara City Council. Fees paid at submittal.
- 5) Development Agreement useless not required by staff.

**\*\*Conceptual reviews by staff and the Planning Commission are encouraged but not required; additionally, applicants/property owners are strongly encouraged to submit their applications in advance of the established submittal deadline requirements to avoid missing a deadline due to unforeseen issues.**

**Property Owner's Authorization**

The undersigned below, or as attached, is the owner(s) of the property which is the subject of this application. The undersigned does duly authorize the applicant, named within this application, to act as applicant in the pursuit of a rezoning of site plan approval for the property.

Name of Property Owner: Harmons City Associates LC

Contact Number: 801-699-0294 or 801-967-9773

Name of Property Owner: \_\_\_\_\_

Contact Number: \_\_\_\_\_

Address of Subject Property: 3540 W. Pioneer Pkwy, Santa Clara, UT 84765, Pad D

I swear that I am (the) (a) owner(s) of the property which is the subject matter of the application, as it is shown in the records of Washington County, Utah.

Rident A Harmon  
Signature of Property Owner

Date: 8/21/2020

\_\_\_\_\_  
Signature of Property Owner

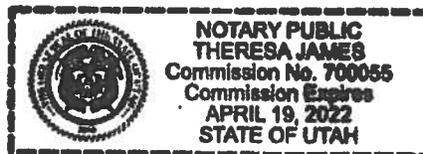
Personally appeared before me on 08/21/2020

Who swears the information contained in this authorization is true and correct to the best of his/her knowledge and belief.

Theresa James  
Notary Public

Affix Seal Here

08/21/2020  
Date



# SITE PLAN CHECKLIST

Project Name: TAGG-N-GO EXPRESS CAR WASH  
 Project Address: 3540 W PIONEER PKWY

YES	NO	N/A
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**I. SKETCH PLAN/CONCEPT PLAN**

Y    N    N/A    A. Sketch/Concept an review by staff and/or Planning Commission, although not required, is highly encouraged.

**II. SITE PLAN GENERAL REQUIREMENTS (17.66.040)**

Y    N    N/A    A. Submittal of: 1) Site plan (eleven (11) 11" x 17" and two "Plat Size" (24" x 36") copies). Must be a clear and legible graphic representation of the plan, existing conditions, and proposed improvements as outlined in the completeness review below

Y    N    N/A    B. SITE PLAN REVIEW REQUIREMENTS (Chapter 17.66): The site plan shall be drawn to a reasonable scale by an engineer, land surveyor, architect, or a landscape architect, or a combination thereof.

**1. Site Plan Approval (17.66.040 (E))**

a. Site plan shall be drawn to a reasonable scale to show the following(17.66.040 (E) (1)):

- |   |   |     |   |
|---|---|-----|---|
| Y | N | N/A | 1. Building locations   |
| Y | N | N/A | 2. Yard setbacks  |
| Y | N | N/A | 3. Ingress & egress drives  |
| Y | N | N/A | 4. Parking areas  |
| Y | N | N/A | 5. Landscaped areas   |
| Y | N | N/A | 6. Such other improvements as may be required relating to specific use proposed |

b. The site plan, or an additional plan drawn to the same scale shall show the following utility locations (17.66.040 (E) (2)):

- |   |   |     |   |
|---|---|-----|---|
| Y | N | N/A | 1. Water                                      |
| Y | N | N/A | 2. Power                                      |
| Y | N | N/A | 3. Telephone                                  |
| Y | N | N/A | 4. Cable TV                                   |
| Y | N | N/A | 5. Sewer                                      |
| Y | N | N/A | 6. Fire Hydrants                              |
| Y | N | N/A | 7. Street Improvements                        |
| Y | N | N/A | 8. Such other improvements as may be required |

Classification	Additional Items Required to be Submitted
Open Space Zone (OS)	
Residential Agriculture Zone (RA)	
Single-Family Residential Zone (R-1)	
Commercial Zone	Site Plan if seeking approval at the same time the zoning map amendment is considered. The Site Plan must comply with the requirements outlined in Chapter 17.66 of the Santa Clara Municipal Code.
Planned Development Districts (PD)	Project Plan--See Chapter 17.68 of the Santa Clara Municipal Code for specific requirements, PD Project Checklist--provided by staff. Phase Plan if seeking phase plan approval at same time as the Project Plan approval--See Chapter 17.68 of the Santa Clara Municipal Code as well as the City's subdivision requirements found in Title 16 of the Santa Clara Municipal Code for specific requirements.
Historic District/Mixed Use Zone	Site Plan--See Chapter 17.74 of the Santa Clara Municipal code for specific requirements.
Historic District Overlay Zone	

### Application Submittal Deadlines\*\*

Classification	Submittal Deadline Requirements
Open Space Zone (OS)	Application submittal deadline is four (4) weeks prior to the Intended Planning Commission Meeting. *Staff acceptance date is three (3) weeks prior to the Intended Planning Commission Meeting.
Residential Agriculture Zone (RA)	Application submittal deadline is four (4) weeks prior to the Intended Planning Commission Meeting. *Staff acceptance date is three (3) weeks prior to the Intended Planning Commission Meeting.
Single-Family Residential Zone (R-1)	Application submittal deadline is four (4) weeks prior to the Intended Planning Commission Meeting. *Staff acceptance date is three (3) weeks prior to the Intended Planning Commission Meeting.
Commercial Zone	<u>Without site plan approval</u> , application submittal deadline is four (4) weeks prior to the Intended Planning Commission Meeting. <u>With site plan approval</u> , application submittal deadline is six (6) weeks prior to the Intended Planning Commission Meeting. *Staff acceptance date is three (3) weeks prior to the Intended Planning Commission Meeting.
Planned Development Districts (PD)	Application submittal deadline is eight (8) weeks prior to the Intended Planning Commission Meeting. *Staff acceptance date is three (3) weeks prior to the Intended Planning Commission Meeting.
Historic District/Mixed Use Zone	Application submittal deadline is six (6) weeks prior to the Intended Planning Commission Meeting. *Staff acceptance date is three (3) weeks prior to the Intended Planning Commission Meeting. Requires review by Heritage & Parks Commission.
Historic District Overlay Zone	Application submittal deadline is four (4) weeks prior to the Intended Planning Commission Meeting. *Staff acceptance date is three (3) weeks prior to the Intended Planning Commission Meeting.
Classification	Submittal Deadline Requirements for City Council
All	Copies of application (11 copies of application with any recommended changes encouraged by the Planning Commission) must be received two (2) weeks prior to Intended City Council meeting. *Staff acceptance date is one (1) week prior to the Intended City Council Meeting.

\*Staff acceptance date refers to the day staff formally accepts the application as complete, all required staff reviews complete, and requested changes made to the application materials are complete.

For comprehensive information on land use amendments and/or the planned development requirements/process, refer to appropriate City Codes and Statutes.

Office Use Only:

Date plan submitted: \_\_\_\_\_ Date plan accepted: \_\_\_\_\_



## SANTA CLARA CITY SUBMITTAL DEADLINES

**Development Submittal Deadlines**  
Effective as of November 15, 2006

REZONINGS	
Classification	Submittal Deadline Requirements for Planning Commission
Open Space Zone (OS)	Application submittal deadline is four (4) weeks prior to the intended Planning Commission Meeting. *Staff acceptance date is three (3) weeks prior to the intended Planning Commission Meeting.
Residential Agriculture Zone (RA)	Application submittal deadline is four (4) weeks prior to the intended Planning Commission Meeting. *Staff acceptance date is three (3) weeks prior to the intended Planning Commission Meeting.
Single-Family Residential Zone (R-1)	Application submittal deadline is four (4) weeks prior to the intended Planning Commission Meeting. *Staff acceptance date is three (3) weeks prior to the intended Planning Commission Meeting.
Commercial Zone	<u>Without site plan approval</u> , application submittal deadline is four (4) weeks prior to the intended Planning Commission Meeting. <u>With site plan approval</u> , application submittal deadline is seven (7) weeks prior to the intended Planning Commission Meeting. *Staff acceptance date is three (3) weeks prior to the intended Planning Commission Meeting.
Planned Development Districts (PD)	Application submittal deadline is eight (8) weeks prior to the intended Planning Commission Meeting. *Staff acceptance date is three (3) weeks prior to the intended Planning Commission Meeting.
Historic District/Mixed Use Zone	Application submittal deadline is six (6) weeks prior to the intended Planning Commission Meeting. *Staff acceptance date is three (3) weeks prior to the intended Planning Commission Meeting.
Historic District Overlay Zone	Application submittal deadline is four (4) weeks prior to the intended Planning Commission Meeting. *Staff acceptance date is three (3) weeks prior to the intended Planning Commission Meeting.
Classification	Submittal Deadline Requirements for City Council
All	Copies of application (11 copies of application with any recommended changes encouraged by the Planning Commission) must be received two (2) weeks prior to intended City Council meeting. *Staff acceptance date is one (1) week prior to the intended City Council Meeting.

*Before receiving any petition, all fees must be paid along with the submittal of a complete application.*

\*Staff acceptance date refers to the day staff formally accepts the application as complete, all required staff reviews are

complete, and final changes made to the application materials are complete.

**\*\*Conceptual reviews, prior to the submittal deadline, by staff and the Planning Commission are strongly encouraged but not required; additionally, applicants/property owners are strongly encouraged to submit their applications in advance of the established submittal deadline requirements to avoid missing a staff acceptance deadline due to unforeseen issue(s).**

<b>Misc. Planning &amp; Zoning Approvals</b>	
<b>Site Plan Reviews</b>	<b>Three (3) weeks prior to intended Planning Commission Meeting and two (2) weeks prior to intended City Council Meeting.</b>
<b>PD Master Plan Amendment</b>	<b>Same as Planned Development approval</b>
<b>Conditional Use Permits and Home Occupations</b>	<b>Week &amp; a half (1 1/2) weeks prior to the Technical Review Committee Meeting</b>

**Typical Meeting Schedules:**

**Note: Please refer to the submittal deadline requirements that must be met in order to have a formal Planning & Zoning application placed on the agenda and considered for approval. Agendas for these meetings are posted prior to the meeting date and can be found on the City's web site: [www.santaclaracityutah.com](http://www.santaclaracityutah.com)**

Technical Review Committee (TRC) Meetings – Generally every Thursday at 8:00 a.m.

Planning & Zoning Meetings – 2<sup>nd</sup> Thursday of each month at 5:30 p.m.

City Council Meetings—2<sup>nd</sup> & 4<sup>th</sup> Wednesday of each month at 5:00 p.m.

**Final Note: Due to the time it takes to conduct reviews by staff, incorporate changes by the engineers, and meet state and local advertising deadlines, the submittal deadline requirements are firm.**

## CONSTRUCTION NOTES

- UNLESS SHOWN OTHERWISE ON THESE PLANS ALL CONSTRUCTION SHALL CONFORM TO THE "CITY OF SANTA CLARA STANDARD SPECIFICATIONS FOR DESIGN AND CONSTRUCTION," "THE UNIFORM PLUMBING CODE," AND THE "INTERNATIONAL BUILDING CODE," - THE LATEST EDITIONS AS ADMINISTERED BY THE CITY OF SANTA CLARA CONSTRUCTION STANDARDS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UNDERGROUND UTILITIES DURING CONSTRUCTION.
- ALL EXCAVATIONS AND GRADING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF SANTA CLARA, SPECIFICALLY APPENDIX 33 OF THE "UNIFORM BUILDING CODE," 1994 EDITION FOR FEE SCHEDULES, APPENDIX K OF THE "UTAH UNIFORM BUILDING STANDARD ACT RULES" FOR GRADING, EXCAVATION AND EARTHWORK CONSTRUCTION AND THE SPECIFICATIONS AND REQUIREMENTS INCLUDED IN THE GEOTECHNICAL STUDY PREPARED BY OTHERS AND ON FILE AT THE CITY OF SANTA CLARA.
- THE CONTRACTOR IS REQUIRED TO CALL THE CITY FOR INSPECTION OF ALL IMPROVEMENTS RELATED TO THIS PROJECT.
- THE CONTRACTOR IS REQUIRED TO OBTAIN AN ENCROACHMENT PERMIT FOR ANY WORK DONE IN A PUBLIC RIGHT-OF-WAY.
- FOR PUBLIC STREETS - TRAFFIC CONTROL SIGNS AND PAVEMENT MARKINGS SHALL BE INSTALLED AT LOCATIONS SHOWN IN ACCORDANCE WITH THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES," AND "SANTA CLARA CITY STANDARD SPECIFICATIONS FOR DESIGN AND CONSTRUCTION." STREET NAME SIGNS SHALL BE PLACED AT ALL INTERSECTIONS.
- ANY NECESSARY MODIFICATIONS SHALL BE APPROVED BY THE DESIGN ENGINEER PRIOR TO CONSTRUCTION.
- PROJECTS SHALL INSTALL AN INFORMATIONAL SIGN ON SITE BEFORE CONSTRUCTION BEGINS. THIS SIGN WILL HAVE A MINIMUM SIZE, PLACEMENT LOCATION AND CONTENT INFORMATION WITH THE COMPANY NAME, PHONE CONTACT, AND GRADING PERMIT NUMBER.
- PROJECTS SHALL SUBMIT A DUST CONTROL PLAN WITH DETAILS ON EQUIPMENT, SCHEDULING, AND REPORTING OF DUST CONTROL ACTIVITIES.
- A MANDATORY PRE-CONSTRUCTION MEETING WILL BE REQUIRED ON ALL PROJECTS PRIOR TO ANY GRUBBING, GRADING, OR CONSTRUCTION ACTIVITIES. THE PERMIT HOLDER WILL BE REQUIRED TO NOTIFY ALL DEVELOPMENT SERVICES INSPECTORS.
- FOLLOW APPENDIX 'J' STANDARDS FOUND IN THE IBC.
- ALL WORK AND MATERIALS MUST MEET CITY OF SANTA CLARA STANDARDS.
- ANY LANDSCAPING, INCLUDING STREET LANDSCAPE STRIPS AND/OR MEDIANS AND ASSOCIATED IRRIGATION, SHALL BE INSTALLED BY DEVELOPER/OWNER(S) AND IS NOT THE RESPONSIBILITY OF SANTA CLARA CITY PARKS DEPARTMENT TO MAINTAIN.

## PROJECT DUST CONTROL NOTES

### EARTH MOVING ACTIVITIES:

- APPLY WATER BY MEANS OF TRUCKS, HOSES AND / OR SPRINKLERS AT SUFFICIENT FREQUENCY AND QUANTITY PRIOR TO CONDUCTING, DURING AND AFTER EARTH MOVING ACTIVITIES.
- PRE-APPLY WATER TO THE DEPTH OF THE PROPOSED CUTS, OR EQUIPMENT PENETRATION.
- APPLY WATER AS NECESSARY AND PRIOR TO EXPECTED WIND EVENTS.
- OPERATE HAUL VEHICLES APPROPRIATELY IN ORDER TO MINIMIZE FUGITIVE DUST AND APPLY WATER AS NECESSARY DURING LOADING OPERATIONS.

### DISTURBED SURFACE AREAS OR INACTIVE CONSTRUCTION SITES:

- WHEN ACTIVE CONSTRUCTION OPERATIONS HAVE CEASED, APPLY WATER AT SUFFICIENT FREQUENCY AND QUANTITY TO DEVELOP A SURFACE CRUST AND PRIOR TO EXPECTED WIND EVENTS.
- INSTALL FENCE BARRIER AND / OR "NO TRESPASSING" SIGNS TO PREVENT ACCESS TO DISTURBED SURFACE AREAS.

## INFORMATIONAL SIGN

LOT 3  
TAGG-N-GO EXPRESS CAR WASH  
1.15 ACRE SITE

FOR INFORMATION REGARDING THIS SITE  
PLEASE CONTACT:

RCO LLC  
P.O. BOX 911839  
ST. GEORGE, UT 84791  
(435) 669-0708

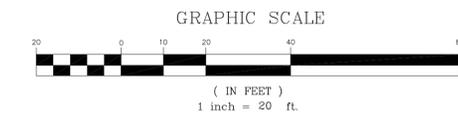
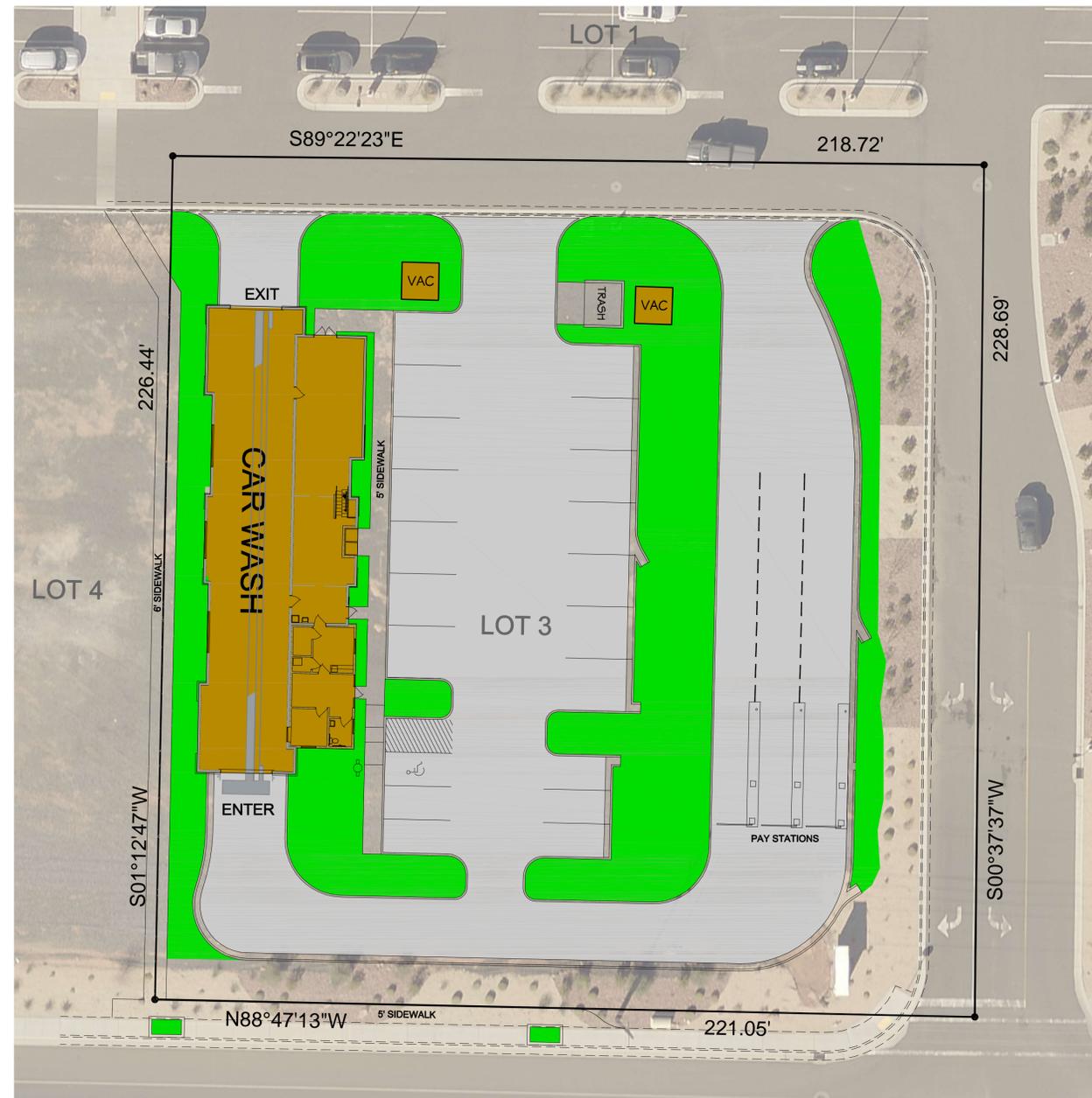
## PROJECT INFORMATION SIGN SPECS.

- MINIMUM SIZE OF THE SIGN SHOULD BE 4'X4' AND MADE OF PLYWOOD OR EQUIVALENT MATERIAL.
  - THE BACKGROUND AREA SHOULD BE WHITE WITH THE INFORMATIONAL LETTERING BLACK.
  - THE FOLLOWING ITEMS MUST BE INCLUDED ON THE SIGN WITH THE MINIMUM SIZE LETTERING STANDARDS:
- |                        |                   |
|------------------------|-------------------|
| PROJECT NAME AND PHASE | MIN. 4" LETTERING |
| GENERAL INFORMATION    | MIN. 2" LETTERING |
| CONTACT PHONE #        | MIN. 2" LETTERING |
| PERMIT #               | MIN. 2" LETTERING |
- CONTACT NAMES FOR THE PROJECT CONSTRUCTION CAN BE INCLUDED WITH THE ABOVE INFORMATION.
  - COMPANY OR DEVELOPMENT LOGOS ON SIGN ARE APPROVED.
  - THE SIGN MUST BE LOCATED AT THE MOST VISIBLE LOCATION TO THE GENERAL PUBLIC SUCH AS THE PROPERTY CORNER AREA, MID-BLOCK AREA, OR JOB SITE TRAILER LOCATION.
  - THE SIGN MUST BE MOUNTED ON POSTS OR A JOB SITE TRAILER, NO LESS THAN 4' ABOVE GROUND HEIGHT.

# HARMONS SANTA CLARA SUBDIVISION

## LOT 3

### CIVIL SITE IMPROVEMENT PLANS



VICINITY MAP

N.T.S.

## PROPERTY INFO

PROPERTY ADDRESS = PARCEL # SC-HASC-3  
3520 PIONEER PARKWAY  
SANTA CLARA, UTAH 84765

### OWNER / DEVELOPER:

RCO LLC  
P.O. BOX 911839  
ST. GEORGE, UT 84791  
(435) 669-0708

## ENGINEER'S ACKNOWLEDGMENT

I, MARC R. FONGER, ST. GEORGE, UTAH, DO HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL ENGINEER AS PRESCRIBED BY THE LAWS OF THE STATE OF UTAH AND THAT I HOLD CERTIFICATE OF REGISTRATION (LICENSE) NUMBER 323806. I FURTHER CERTIFY THAT THE DESIGN OF THESE IMPROVEMENT PLANS WAS MADE UNDER MY DIRECTION AND SUPERVISION AND IS ACCURATELY REPRESENTED ON THESE PLANS.



MARC R. FONGER, P.E. CERTIFICATE NO. 323806

SHEET NUMBER	SHEET DESCRIPTION
C1	COVER SHEET
C2	EROSION CONTROL PLAN & DETAILS
C3	UTILITY PLAN
C4	GRADING PLAN & DETAILS
C5	DETAILS
C6	SITE PLAN
L1.01	LANDSCAPE PLANTING PLAN (BY OTHERS)
L1.02	LANDSCAPE PLANTING DETAILS (BY OTHERS)
L2.01	LANDSCAPE IRRIGATION PLAN (BY OTHERS)
L2.02	LANDSCAPE IRRIGATION DETAILS (BY OTHERS)

DATE: 9/18/2020  
DRAWN BY: E.A.M.  
CHECKED BY: M.R.F.  
CLIENT: TAGG



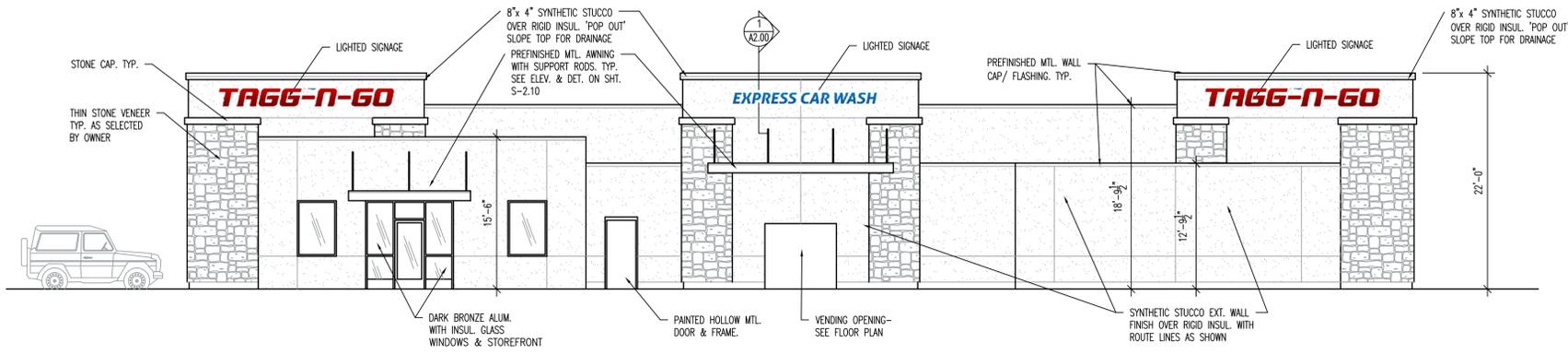
SCALE: 1" = 20'

COVER SHEET  
TAGG-N-GO EXPRESS CAR WASH  
HARMONS SANTA CLARA SUBDIVISION, LOT 3  
SANTA CLARA, UTAH 84765

**PREMIER**  
Design & Engineering  
75 EAST 100 NORTH WINS, UTAH 84738 (435) 313-2267

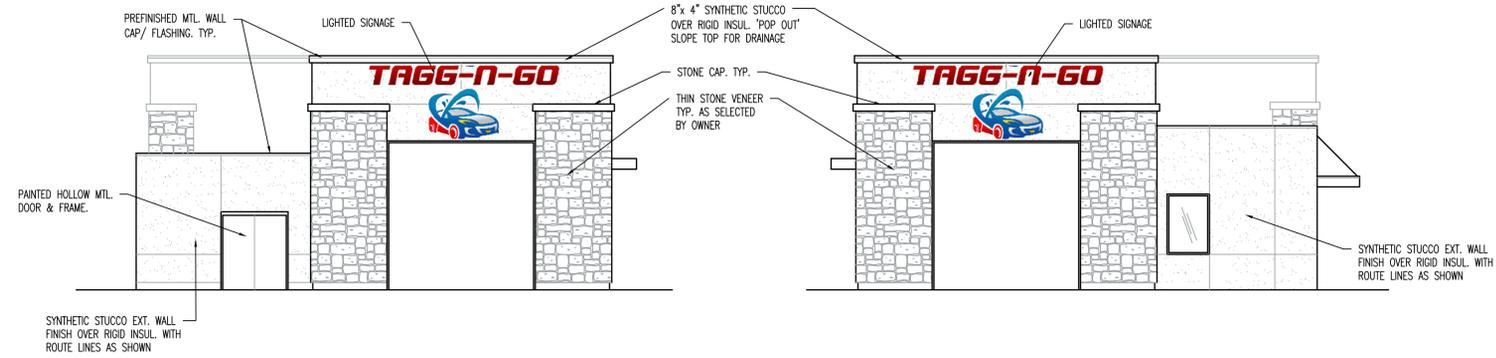
SHEET

C1



**EAST ELEVATION**

SCALE: 1/8" = 1'-0"

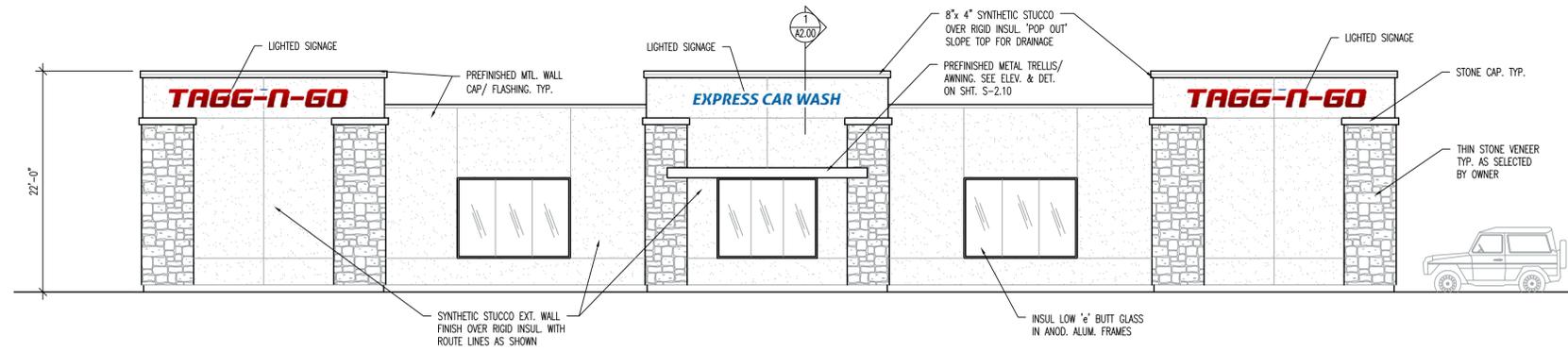


**NORTH ELEVATION**

SCALE: 1/8" = 1'-0"

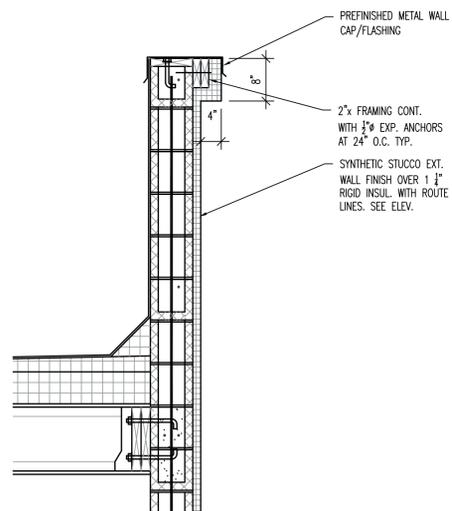
**SOUTH ELEVATION**

SCALE: 1/8" = 1'-0"



**WEST ELEVATION**

SCALE: 1/8" = 1'-0"



**DETAIL**

SCALE: 3/4" = 1'-0"

1  
A-2.00

NOTE:  
APPLY CLEAR SEALER TO STONE  
EXTERIOR WALL FINISH. TYP. ALL  
ELEVATIONS.

ALL IDEAS, DESIGNS, ARRANGEMENTS, AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND THE PROPERTY OF VINCENT DESIGN GROUP, INC. AND WERE CREATED, EVOLVED, AND DEVELOPED WITH THIS SPECIFIED PROJECT. NONE OF THE IDEAS, DESIGNS, ARRANGEMENTS, OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM, OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT WRITTEN CONSENT OF VINCENT DESIGN GROUP, INC. WARNINGS: REPRODUCTION HEREOF IS A CRIMINAL OFFENSE UNDER 18 U.S.C. SEC. 506 UNAUTHORIZED DISCLOSURE MAY CONSTITUTE TRADE SECRET, MISAPPROPRIATION, IN VIOLATION OF I.C. 24-2-31 ET. SEC. AND OTHER LAWS.

**VDG**  
VINCENT DESIGN GROUP, INC.  
ARCHITECTS AND PLANNERS

401 EAST 1700 SOUTH, SALT LAKE CITY, UTAH (801) 484-2046

NEW TUNNEL CAR WASH BUILDING:  
**TAGG N GO CAR WASH**

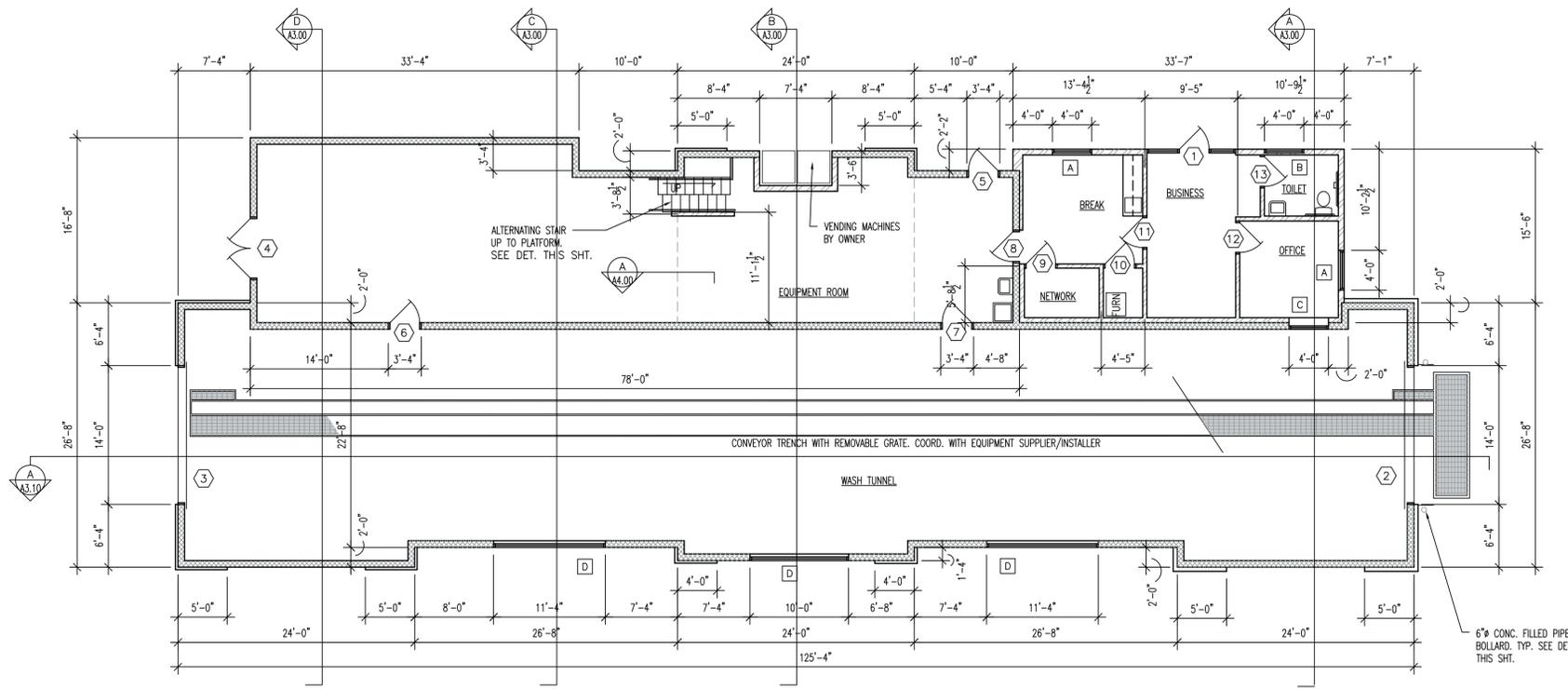
HARMON'S DEVELOPMENT PAD D  
SANTA CLARA, UTAH  
BUILDING ELEVATIONS

ARCH. PROJECT NO:	
DATE:	
DRAWN BY:	
CHECKED BY:	
DESIGNED BY:	

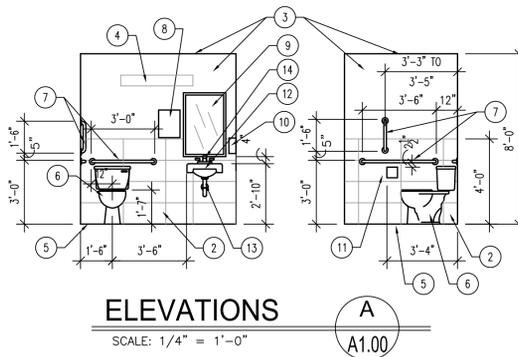
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DATE	REVISION

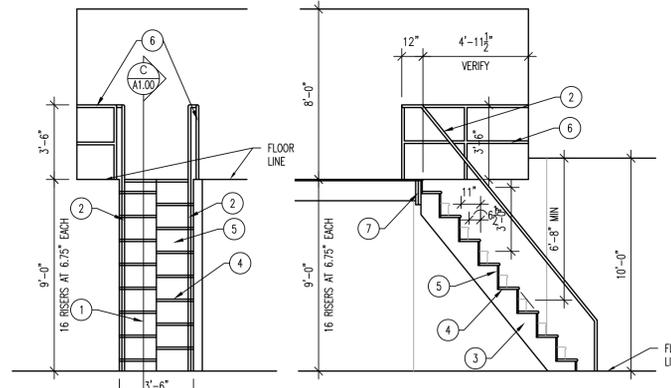
SHEET TITLE  
**A-2.00**  
ARCHITECTURAL 2 OF 8



**FLOOR PLAN**  
SCALE: 1/8" = 1'-0"  
NORTH

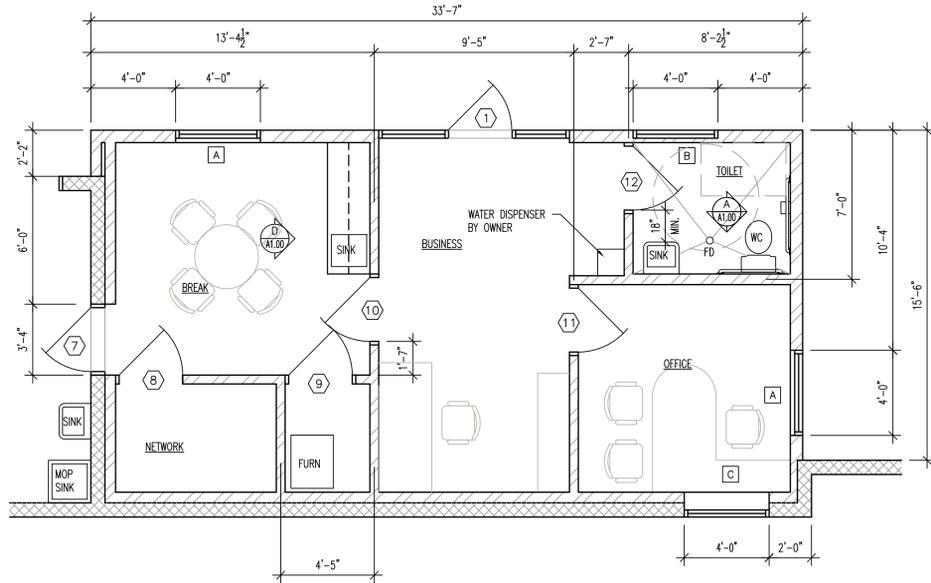


- KEYED NOTES (TOILET ROOMS):**
- NOT USED
  - 12" x 24" GLAZED PORCELAIN TILE WAINSCOT OVER 3/8" DENSHIELD BACKER BRD. TYP. ALL WALLS OF TOILET ROOMS, BEHIND MOP SINK & WATER COOLERS.
  - PAINTED GYP. BRD. CEILING & WALLS ABOVE WAINSCOT.
  - WALL MOUNTED LIGHT FIXTURE. COORDINATE WITH TENANT.
  - STAINED/EPOXY SEALED CONC. FLOOR SLAB. SLOPE TO FLOOR DRAIN.
  - ACCESSIBLE WATER CONSERVATION TYPE WATER CLOSET WITH FLUSH VALVE ON OPEN SIDE
  - 1 1/2" STAINLESS STEEL GRAB BARS PER ANSI
  - PAPER TOWEL DISP. COORDINATE WITH OWNER FOR TYPE. MOUNT PER ANSI CODE
  - 24" x 42" MIRROR WITH STAINLESS STEEL FRAME. MOUNT PER ANSI
  - SOAP DISP. COORDINATE WITH TENANT FOR TYPE. MOUNT PER ANSI
  - TOILET PAPER DISP. COORDINATE WITH OWNER FOR TYPE. MOUNT PER ANSI
  - WALL MOUNTED ACCESSIBILITY COMPLIANT SINK
  - PREFORMED INSUL. TYP. ON SUPPLY & WASTE LINES.
  - ACCESSIBILITY COMPLIANT FAUCET

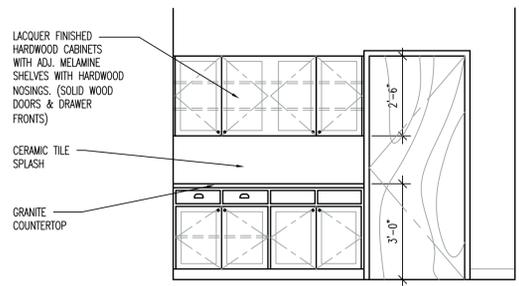


**STAIR ELEVATION B** SCALE: 1/4" = 1'-0"  
**STAIR SECTION C** SCALE: 1/4" = 1'-0"  
NORTH

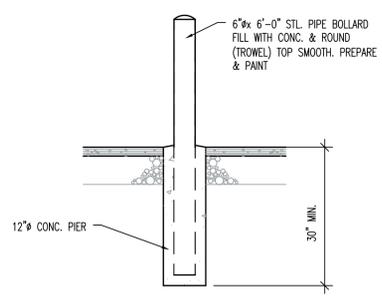
- KEYED STAIR NOTES:**
- ALTERNATING TREAD STAIR UP TO STORAGE PLATFORM
  - 1 1/2" STEEL PIPE RAILING. WELD, GRIND SMOOTH & PAINT
  - 2" x TREATED WOOD STRINGER
  - TREATED WOOD STAIR TREADS
  - SOLID TREATED WOOD RISERS
  - 42" TALL 1 1/2" STEEL PIPE GUARDRAIL. WELD, GRIND SMOOTH & PAINT
  - (2) 2" x HEADER



**ENLARGED FLOOR PLAN**  
SCALE: 1/4" = 1'-0"  
NORTH



**ELEVATION D**  
SCALE: 3/8" = 1'-0"  
NORTH



**DETAIL 2**  
SCALE: 1/2" = 1'-0"  
A-1.00

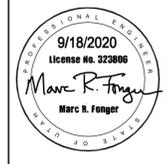
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SCALE: 1" = 20'

EROSION CONTROL PLAN SWPPP  
 TAGG-N-GO EXPRESS CAR WASH  
 HARMONS SANTA CLARA SUBDIVISION, LOT 3  
 SANTA CLARA, UTAH 84765

**PREMIER**  
 Design & Engineering  
 75 EAST 100 NORTH WINS, UTAH 84738 (435) 313-2267



### PROPERTY INFO

PROPERTY ADDRESS = PARCEL # SC-HASC-3  
 3520 PIONEER PARKWAY  
 SANTA CLARA, UTAH 84765

#### OWNER / DEVELOPER:

RCQ LLC  
 P.O. BOX 911839  
 ST. GEORGE, UT 84791  
 (435) 669-0708

### DUST CONTROL NOTES

- EARTH MOVING ACTIVITIES:**
1. APPLY WATER BY MEANS OF TRUCKS, HOSES AND / OR SPRINKLERS AT SUFFICIENT FREQUENCY AND QUANTITY, PRIOR TO CONDUCTING, DURING AND AFTER EARTHMOVING ACTIVITIES.
  2. PRE-APPLY WATER TO THE DEPTH OF THE PROPOSED CUTS, OR EQUIPMENT PENETRATION.
  3. APPLY WATER AS NECESSARY AND PRIOR TO EXPECTED WIND EVENTS.
  4. OPERATE HAUL VEHICLES APPROPRIATELY IN ORDER TO MINIMIZE FUGITIVE DUST AND APPLY WATER AS NECESSARY DURING LOADING OPERATIONS.

- DISTURBED SURFACE AREAS OR INACTIVE CONSTRUCTION SITES:**
1. WHEN ACTIVE CONSTRUCTION OPERATIONS HAVE CEASED, APPLY WATER AT SUFFICIENT FREQUENCY AND QUANTITY TO DEVELOP A SURFACE CRUST AND PRIOR TO EXPECTED WIND EVENTS.
  2. INSTALL FENCE BARRIER AND / OR "NO TRESPASSING" SIGNS TO PREVENT ACCESS TO DISTURBED SURFACE AREAS.

### EROSION CONTROL NOTES

THE CONTRACTOR TO USE BEST MANAGEMENT PRACTICES FOR PROVIDING EROSION CONTROL FOR CONSTRUCTION OF THIS PROJECT. ALL MATERIAL AND WORKMANSHIP SHALL CONFORM TO GOVERNING AGENCIES ORDINANCES AND ALL WORK SHALL BE SUBJECT TO INSPECTION BY THE COUNTIES ALSO, INSPECTORS WILL HAVE THE RIGHT TO CHANGE THE FACILITIES AS NEEDED.

CONTRACTOR SHALL KEEP THE SITE WATERED TO CONTROL DUST. CONTRACTOR TO LOCATE A NEARBY HYDRANT FOR USE AND TO INSTALL TEMPORARY METER. CONSTRUCTION WATER COST TO BE INCLUDED IN BID.

WHEN GRADING OPERATIONS ARE COMPLETED AND THE DISTURBED GROUND IS LEFT OPEN FOR 14 DAYS OR MORE, THE AREA SHALL BE FURROWED PARALLEL TO THE CONTOURS.

THE CONTRACTOR SHALL MODIFY EROSION CONTROL MEASURES TO ACCOMMODATE PROJECT PLANNING.

ALL ACCESS TO PROPERTY WILL BE FROM PUBLIC RIGHT-OF-WAYS. THE CONTRACTOR IS REQUIRED BY STATE AND FEDERAL REGULATIONS TO PREPARE A STORM WATER POLLUTION PREVENTION PLAN AND FILE A "NOTICE OF INTENT" WITH GOVERNING AGENCIES.

### MAINTENANCE

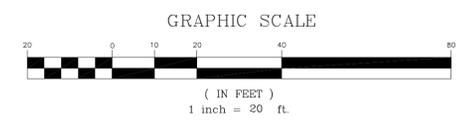
ALL BEST MANAGEMENT PRACTICES (BMP'S) SHOWN ON THIS PLAN MUST BE MAINTAINED AT ALL TIMES UNTIL PROJECT CLOSE-OUT.

THE CONTRACTOR'S RESPONSIBILITY SHALL INCLUDE MAKING BI-WEEKLY CHECKS ON ALL EROSION CONTROL MEASURES TO DETERMINE IF REPAIR OR SEDIMENT REMOVAL IS NECESSARY. CHECKS SHALL BE DOCUMENTED AND COPIES OF THE INSPECTIONS KEPT ON SITE.

SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH RAINFALL. THEY MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.

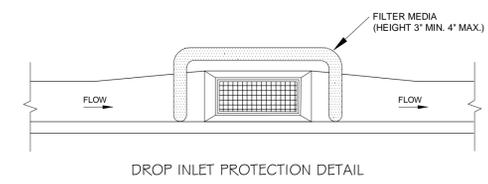
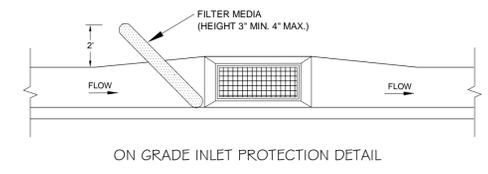
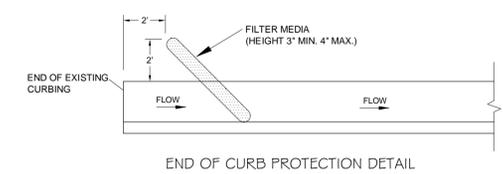
SEDIMENT TRACKED ONTO PAVED ROADS MUST BE CLEANED UP AS SOON AS PRACTICAL, BUT IN NO CASE LATER THAN THE END OF THE NORMAL WORK DAY. THE CLEAN UP WILL INCLUDE SWEEPING OF THE TRACKED MATERIAL, PICKING IT UP, AND DEPOSITING IT TO A CONTAINED AREA.

**EXPOSED SLOPES:**  
 ANY EXPOSED SLOPE THAT WILL REMAIN UNTOUCHED FOR LONGER THAN 14 DAYS MUST BE STABILIZED BY ONE OR MORE OF THE FOLLOWING METHODS:  
 A) SPRAYING DISTURBED AREAS WITH A TACKIFIER VIA HYDROSEED.  
 B) TRACKING STRAW PERPENDICULAR TO SLOPES.  
 C) INSTALLING A LIGHT-WEIGHT, TEMPORARY EROSION CONTROL BLANKET.



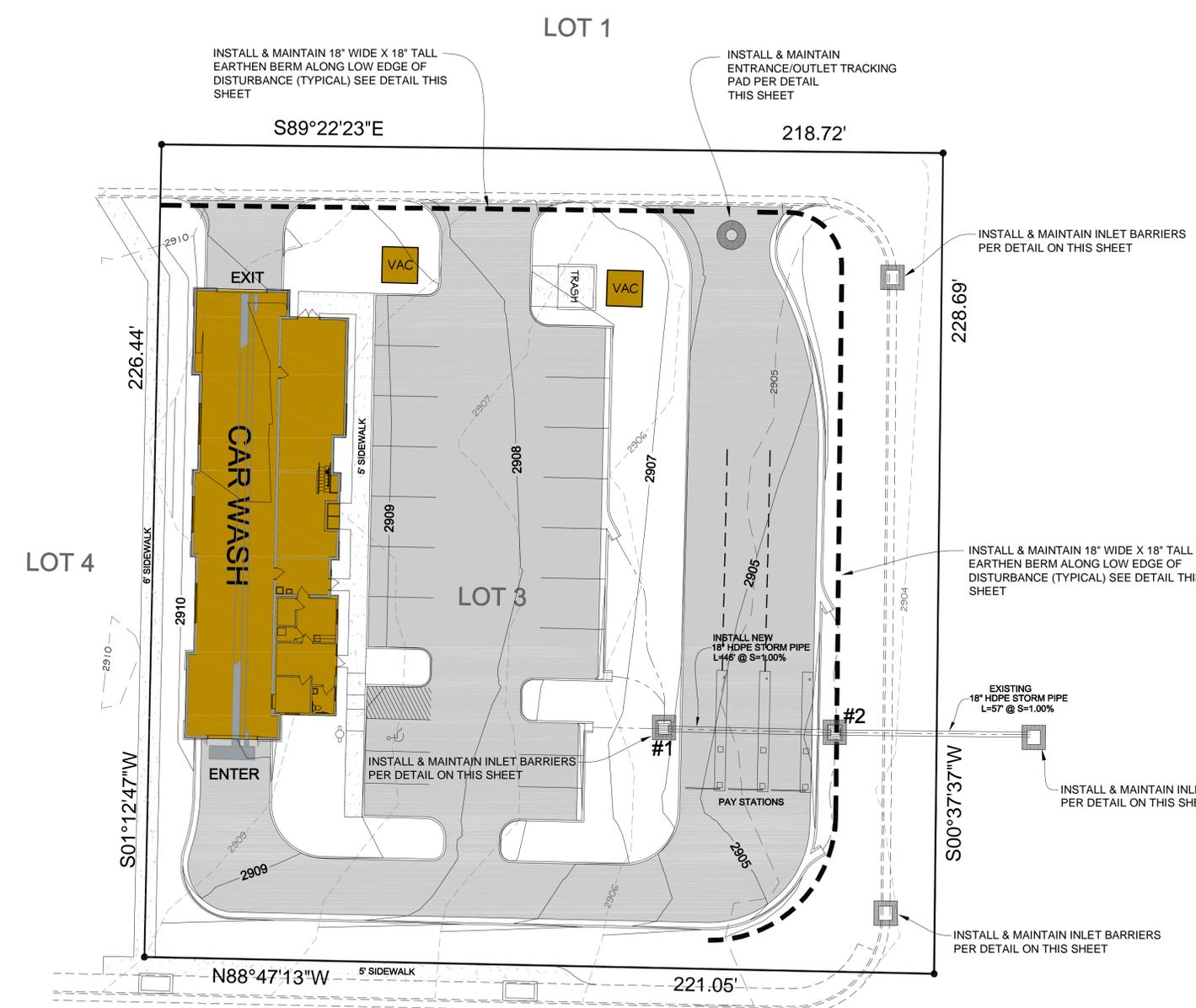
### LEGEND

- - - 2781 - - - = EXISTING 1' CONTOUR
- - - 2780 - - - = EXISTING 1.5' CONTOUR
- - - 2781 - - - = PROPOSED 1' CONTOUR
- - - 2780 - - - = PROPOSED 1.5' CONTOUR
- - - 2780 - - - = PROPOSED 5' CONTOUR
- = CONSTRUCTION ENTRANCE/OUTLET
- = INLET BARRIERS / SEDIMENT PROTECTION
- - - - - = EARTHEN BERM
- ← = DIRECTION OF FLOW
- ◆ = NEW DROP INLET BOX

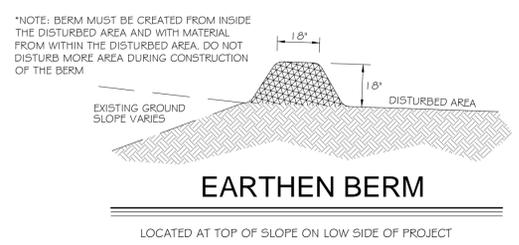
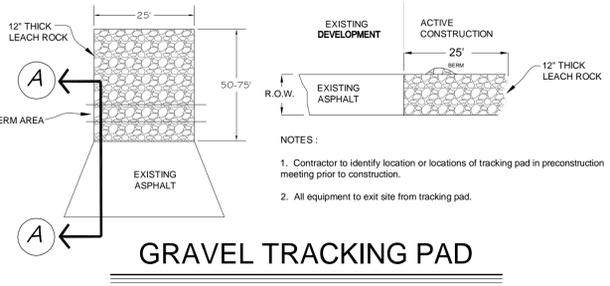


1. PLACE INLET BARRIERS AS SHOWN AROUND THE INLET OPENING.
2. IN MEDIAN AREAS, CONSTRUCT SO THAT THE TOP OF THE INLET BARRIER IS NOT HIGHER THAN THE ADJACENT ROADWAY.
3. MAINTAIN A PROPERLY FUNCTIONING INLET BARRIERS THROUGHOUT CONSTRUCTION OR UNTIL DISTURBED AREAS CONTRIBUTING TO THE INLET HAVE BEEN PAVED OR VEGETATED.
4. REMOVE SEDIMENT AS IT ACCUMULATES AND PLACE IT IN A STABLE AREA APPROVED BY THE ENGINEER.

### INLET BARRIERS

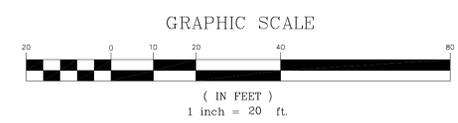


**PIONEER PARKWAY**  
 (80' PUBLIC R.O.W.)



### EARTHEN BERM



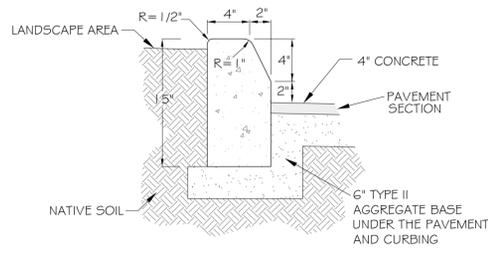


**GRADING PLAN**  
**TAGG-N-GO EXPRESS CAR WASH**  
 HARMONS SANTA CLARA SUBDIVISION, LOT 3  
 SANTA CLARA, UTAH 84765

**PREMIER**  
**Design & Engineering**  
 75 EAST 100 NORTH WINS, UTAH 84738 (435) 393-2267

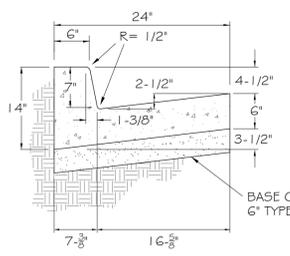


SHEET  
**C4**



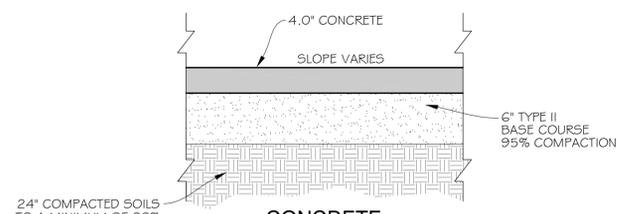
**6" PARKING LOT CURB**

DETAIL "A"



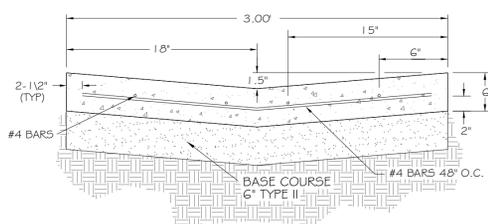
**24" PARKING LOT CURB**

DETAIL "B"



**CONCRETE PARKING LOT SECTION**

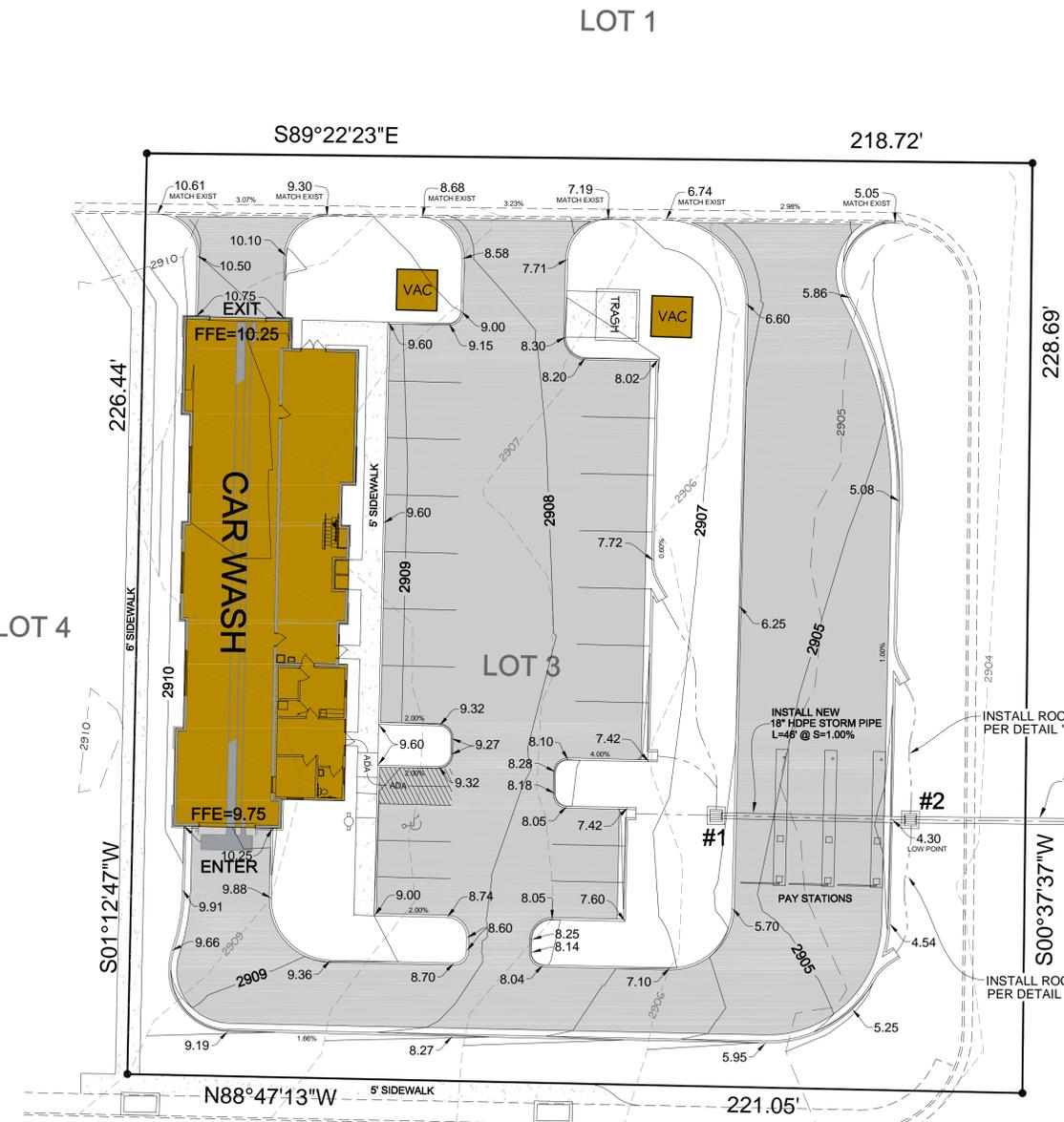
DETAIL "C"



**3' CONCRETE VALLEY GUTTER**

DETAIL "D"

AVOID CUTTING UNDERGROUND UTILITY LINES. IT'S COSTLY.  
**Call before you Dig**  
 1-800-662-4111  
CALL BEFORE YOU DIG (UTAH)



**STORM DRAIN DATA**

#	TYPE	TBC / RIM	GRATE	INV IN	INV IN ADDITIONAL	INV OUT
1	3' x 3' BOX FLAT GRATE	N/A	2905.30	N/A	N/A	1' (8.00) 2901.00
2	3' x 3' BOX FLAT GRATE	N/A	2903.70	18" (5.00) 2900.54	N/A	18" (5.00) 2900.54

**LEGEND**

- 75.87 EX = EXISTING TOP BACK OF CURBING ELEV.
- 76.00 = PROPOSED TOP BACK OF CURBING ELEV.
- 75.50 TA = TOP OF ASPHALT (FINISHED GRADE)
- ← = DIRECTION OF FLOW
- - - 2971 = EXISTING 1' CONTOUR
- - - 2970 = EXISTING 5' CONTOUR
- - - 2971 = PROPOSED 1' CONTOUR
- - - 2980 = PROPOSED 5' CONTOUR
- - - ADA = ACCESSIBLE ROUTE

**GRADING PLAN NOTES**

- ALL EXCAVATIONS AND GRADING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF SANTA CLARA, SPECIFICALLY APPENDIX K OF THE "INTERNATIONAL BUILDING CODE," 2003 EDITION, AND THE SPECIFICATIONS AND REQUIREMENTS INCLUDED IN THE GEOTECHNICAL STUDY.
- THE CONTRACTOR SHALL PROVIDE SUITABLE EQUIPMENT TO CONTROL DUST AND AIR POLLUTION CAUSED BY CONSTRUCTION OPERATIONS. THE CONTRACTOR SHALL ALSO PROVIDE SUITABLE MUD AND DIRT CONTAINMENT TO MAINTAIN THE WORK SITE, ACCESS ROADWAYS AND ADJACENT PROPERTIES IN A CLEAN CONDITION.
- ALL IMPORTED STRUCTURAL FILL SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO DELIVERY TO THE SITE. ALL STRUCTURAL FILL SHALL BE PLACED IN 8 INCH LOOSE HORIZONTAL LIFTS AND COMPACTED TO A MINIMUM OF 95 PERCENT OF MAXIMUM DRY DENSITY (ASTM D-1557).
- ALL EXCAVATIONS, GRADING AND FILL OPERATIONS WITHIN THE BUILDING AREA SHOULD BE OBSERVED BY THE GEOTECHNICAL ENGINEER TO VERIFY SUBSOIL CONDITIONS AND DETERMINE ADEQUACY OF SITE PREPARATION, SUITABILITY OF FILL MATERIALS AND COMPLIANCE WITH COMPACTION REQUIREMENTS.
- OWNER IS RESPONSIBLE FOR ALL ON SITE DRAINAGE.

**DRAINAGE NOTES**

- ALL DRAINAGE SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF SANTA CLARA, AND THE SPECIFICATIONS AND REQUIREMENTS INCLUDED IN THE LOW IMPACT DESIGN.

**EARTHWORK QUANTITIES**

26	(C) CU. YD. CUT
955	(F) CU. YD. FILL
928	(F) CU. YD. NET FILL

CUT AND FILL VOLUMES SHOWN ARE BASED ON DIGITAL TERRAIN MODELING COMPUTATIONS. VOLUMES SHOWN ARE COMPACTED IN PLACE VOLUMES AND DO NOT REFLECT EXPANSION AND SHRINKAGE CONDITIONS EXPERIENCED DURING CONSTRUCTION. THESE VOLUMES ARE SHOWN AS REFERENCE ONLY.

THE CONTRACTOR SHALL BE RESPONSIBLE TO EVALUATE THE ONSITE SOILS, REVIEW THE GEOTECHNICAL INVESTIGATION AND DETERMINE THE ANTICIPATED EARTHWORK FOR THIS PROJECT.

THESE VOLUMES ARE GENERATED TO THE FINISHED GRADE OF THE SITE

**PIONEER PARKWAY**  
 (80' PUBLIC R.O.W.)

**\*NOTES:**

- ALL EXTERIOR EXIT DISCHARGE DOORS TO HAVE LEVEL EXTERIOR LANDING WITH A 2% MAX SLOPE (SEE GRADING PLAN SHEET C4)
- ALL ACCESSIBLE PARKING STALLS & ACCESS AISLE TO HAVE A 2% MAX SLOPE AND CROSS SLOPE (SEE GRADING PLAN SHEET C4)
- VAN ACCESSIBLE PARKING STALLS HAVE BEEN LABELED ON THE PLAN ALL VAN ACCESSIBLE STALLS ARE TO BE 18' DEEP X 9' WIDE, WITH A STRIPED AREA THAT IS 18' DEEP X 8' WIDE PER ICC A 117.1-09 SECTION 502.
- ALL ACCESSIBLE ACCESS ROUTES ARE TO BE A MINIMUM OF 5' WIDE AND HAVE A 8% MAX RUNNING SLOPE AND 2% MAX CROSS SLOPE (SEE GRADING PLAN SHEET C4)

**PROPERTY INFO**

PROPERTY ADDRESS = PARCEL # SC-HASC-3  
 3520 PIONEER PARKWAY  
 SANTA CLARA, UTAH 84765

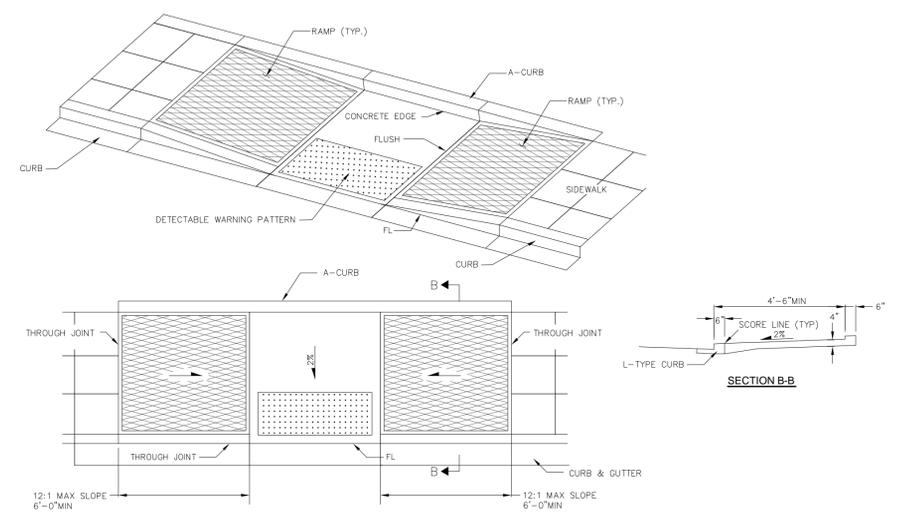
**OWNER / DEVELOPER:**

RCQ LLC  
 P.O. BOX 911839  
 ST. GEORGE, UT 84791  
 (435) 669-0708



SCALE: N.T.S.

DETAILS  
**TAGG-N-GO EXPRESS CAR WASH**  
 HARMONS SANTA CLARA SUBDIVISION, LOT 3  
 SANTA CLARA, UTAH 84765

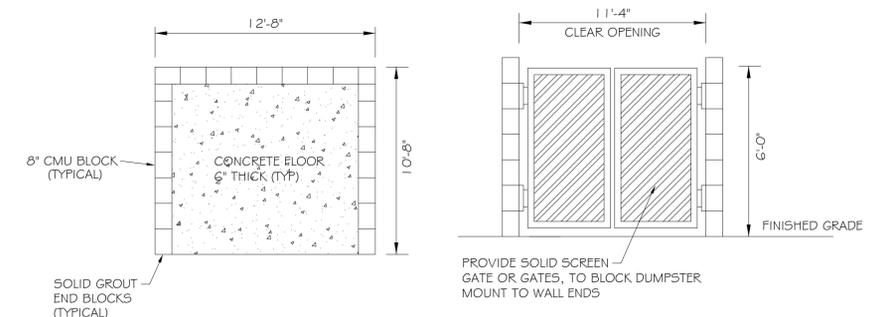


**SIDEWALK NOTES:**

1. PROVIDE CONTRACTION JOINTS IN SIDEWALK AT MAXIMUM 5' SPACING. MATCH JOINTS IN CURB AND GUTTER.
2. PROVIDE EXPANSION JOINTS IN SIDEWALK AT MAXIMUM 50' SPACING. MATCH JOINTS IN CURB AND GUTTER.
3. PLACE TRUNCATED DOME DETECTABLE WARNING SURFACE IN THE LOWER 2' OF THE THROAT OF RAMP ONLY. ARRANGE DOMES USING IN-LINE PATTERN ONLY AS SHOWN IN DETAIL. COLOR OF TEXTURE TO BE SAFETY YELLOW, OR AS DIRECTED BY ENGINEER.
4. SIDEWALK CURB RAMP SLOPES SHOWN RELATIVE TO TRUE LEVEL HORIZON (ZERO BUBBLE.)
5. TOOLED JOINTS ARE REQUIRED AT ALL SIDEWALK RAMP SLOPE BREAK-LINES.

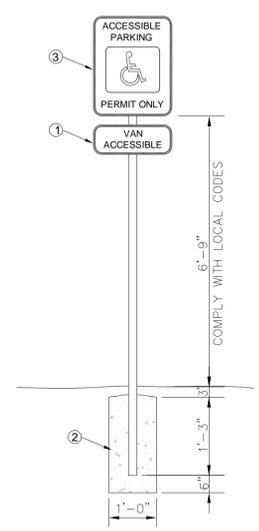
**ACCESSIBLE RAMP**

DETAIL "E"



**DUMPSTER ENCLOSURE**

DETAIL "G"

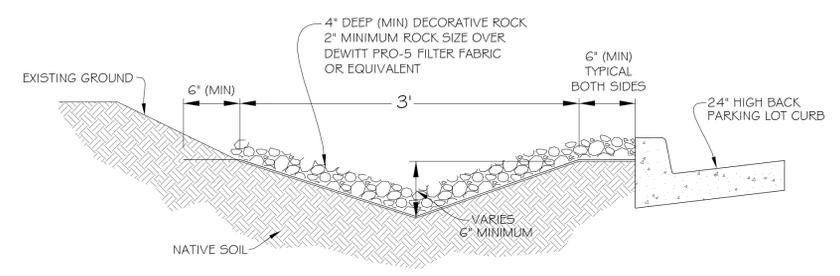


**ACCESSIBLE PARKING SIGN**

DETAIL "F"

**NOTES:**

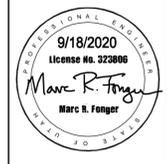
1. ADDITIONAL SIGN ONLY REQUIRED AT VAN ACCESSIBLE SPACES.
2. VERIFY WITH LOCAL CONDITIONS.
3. VERIFY SIZE, COLOR, WORDING, ETC. WITH TRAFFIC ENGINEERING DEPARTMENT.
4. INSTALL ACCESSIBLE PARKING SIGN AT EACH ADA PARKING STALL.



**ROCK LINED CHANNEL**

DETAIL "H"

**PREMIER**  
 Design & Engineering  
 75 EAST 100 NORTH WINS, UTAH 84738 (435) 313-2267



SHEET

C5

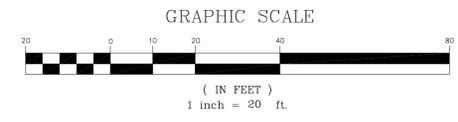
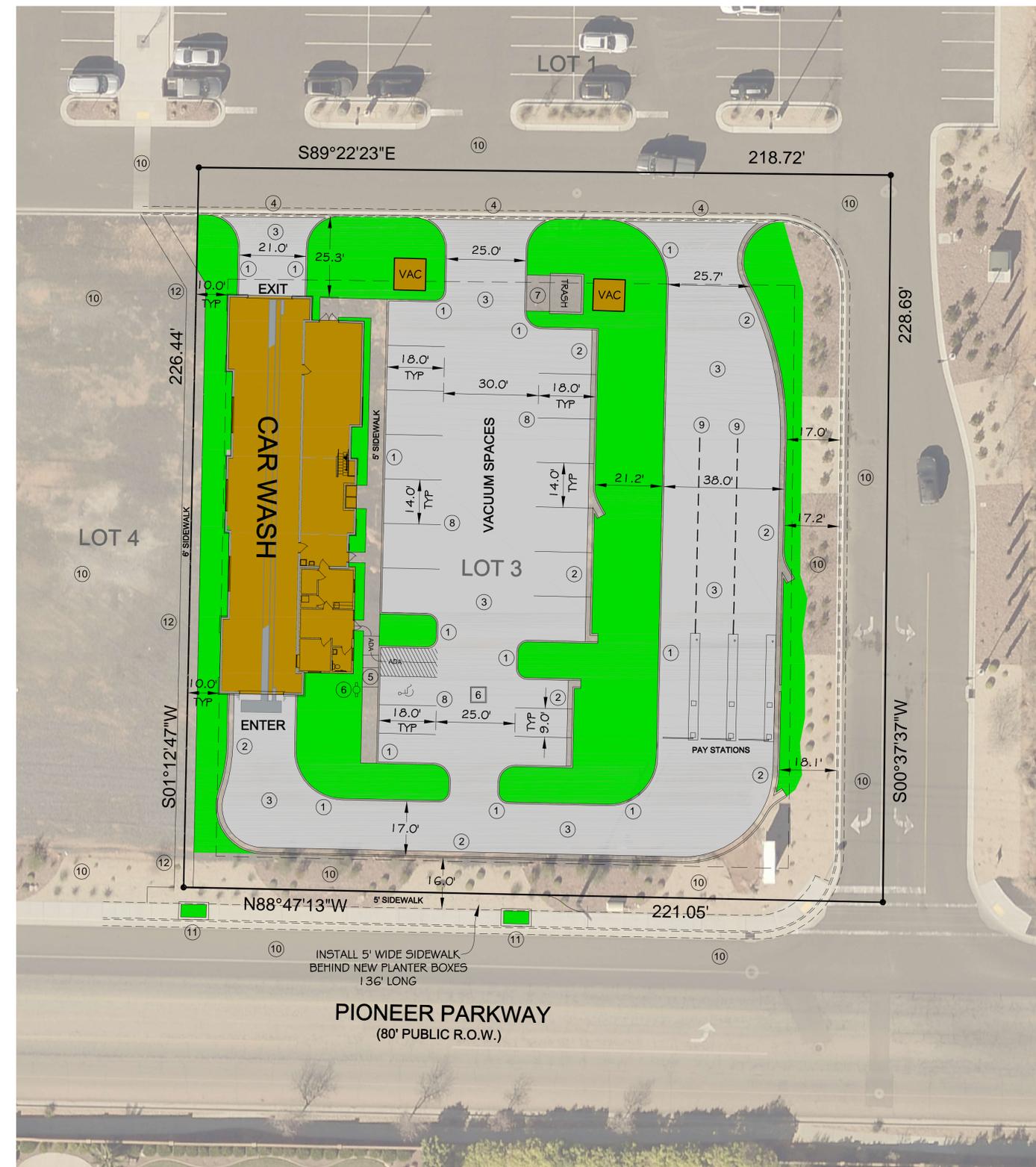


SCALE: 1" = 20'

SITE PLAN  
 TAGG-N-GO EXPRESS CAR WASH  
 HARMONS SANTA CLARA SUBDIVISION, LOT 3  
 SANTA CLARA, UTAH 84765

**LEGEND**

- = BUILDING AREA  
(SEE ARCHITECTURAL PLANS FOR DETAILS)
- = LANDSCAPE AREA / PERVIOUS AREA  
(SEE LANDSCAPE PLANS FOR DETAILS)
- = PAVEMENT AREA  
(SEE DETAIL "C" ON SHEET C4)
- = SIDEWALK & CONCRETE AREA
- ADA — ADA — = ACCESSIBLE ROUTE  
TO BE A MINIMUM OF 5' WIDE AND HAVE  
A 2% MAX CROSS SLOPE AND 8% MAX HORIZONTAL SLOPE
- - - - - = SETBACK LINE
- = PROPERTY CORNER
- 8 = PARKING SPACE QUANTITY
- 1 = INSTALL 6" PARKING LOT CURB  
(PER DETAIL "A" ON SHEET C4)
- 2 = INSTALL 24" PARKING LOT CURB  
(PER DETAIL "B" ON SHEET C4)
- 3 = INSTALL CONCRETE PARKING SECTION  
(PER DETAIL "C" ON SHEET C4)
- 4 = INSTALL 3" CONCRETE VALLEY GUTTER  
(PER DETAIL "D" ON SHEET C5)
- 5 = INSTALL ACCESSIBLE RAMP  
(PER DETAIL "E" ON SHEET C5)
- 6 = INSTALL ACCESSIBLE PARKING SIGN  
(PER DETAIL "F" ON SHEET C5)
- 7 = INSTALL DUMPSTER ENCLOSURE  
(PER DETAIL "G" ON SHEET C5)
- 8 = 4" WIDE SOLID PAINTED WHITE PARKING SPACE
- 9 = 4" WIDE DASHED PAINTED WHITE STACKING LANE STRIPING
- 10 = EXISTING IMPROVEMENTS NOT A PART
- 11 = INSTALL PLANTER BOX ALONG PIONEER PKWY
- 12 = INSTALL 6" WIDE CONCRETE SIDEWALK,  
4" THICK CONCRETE OVER 4" TYPE II BASE  
(SPLIT LOT LINE 3" EACH WAY)



**PROPERTY INFO**

PROPERTY ADDRESS = PARCEL # SC-HASC-3  
 3520 PIONEER PARKWAY  
 SANTA CLARA, UTAH 84765

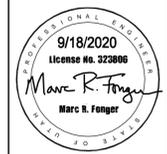
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 P.O. BOX 911839  
 ST. GEORGE, UT 84791  
 (435) 669-0708

**SITE DATA**

ZONE	PDC
SITE AREA (TOTAL LOT AREA)	50,037 SQ.FT. 1.149 ACRES
NEW BUILDING AREA	4,961 SQ.FT. (9.9%)
EXISTING PARKING / IMPERVIOUS AREA	6,806 SQ.FT. (13.6%)
NEW PARKING / IMPERVIOUS AREA	21,786 SQ.FT. (43.5%)
EXISTING LANDSCAPE AREA	5,062 SQ.FT. (10.1%)
NEW ADDITIONAL LANDSCAPE AREA	11,422 SQ.FT. (22.9%)
OVERALL BUILDING HEIGHT	22'-0"
<b>NEW PARKING PROVIDED:</b>	
CAR WASH = 4 EMPLOYEES @ (1 PER EMPLOYEE)	= 4 SPACES
	NEW PARKING PROVIDED = 6 SPACES
VACUUM SPACES PROVIDED = 14 SPACES	
STACKING SPACES PROVIDED = 28 SPACES	



**PREMIER**  
 Design & Engineering  
 75 EAST 100 NORTH WINS, UTAH 84738 (435) 313-2267



SHEET  
**C6**

# DESIGN NOTES:

1. CONTRACTOR TO ENSURE THAT THE DESIGN INTENT OF THE LANDSCAPE IS UPHELD AT ALL TIMES DURING THE CONSTRUCTION PHASE OF THE PROJECT.
2. ANY CONFLICTING INFORMATION THAT RELATES TO THE DESIGN INTENT OF THIS PLAN SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT. IF ANY INFORMATION IS WITH HELD THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE OF SUCH NOTIFICATIONS.
3. CONTRACTOR SHALL BE FAMILIAR WITH ALL EXISTING SITE CONDITIONS AND UNDERGROUND UTILITIES. CONTRACTOR IS RESPONSIBLE FOR CONTACTING BLUE STAKES AND UTILITY COMPANIES FOR ALL LOCATES PRIOR TO CONSTRUCTION.
4. LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR LAYOUT AND/OR DESIGN CHANGES AND/OR MODIFICATIONS MADE BY THE OWNER AND/OR ANY PROJECT CONTRACTOR WITHOUT THE EXPRESSED CONSENT OF THE LANDSCAPE ARCHITECT.

# DRAINAGE NOTES:

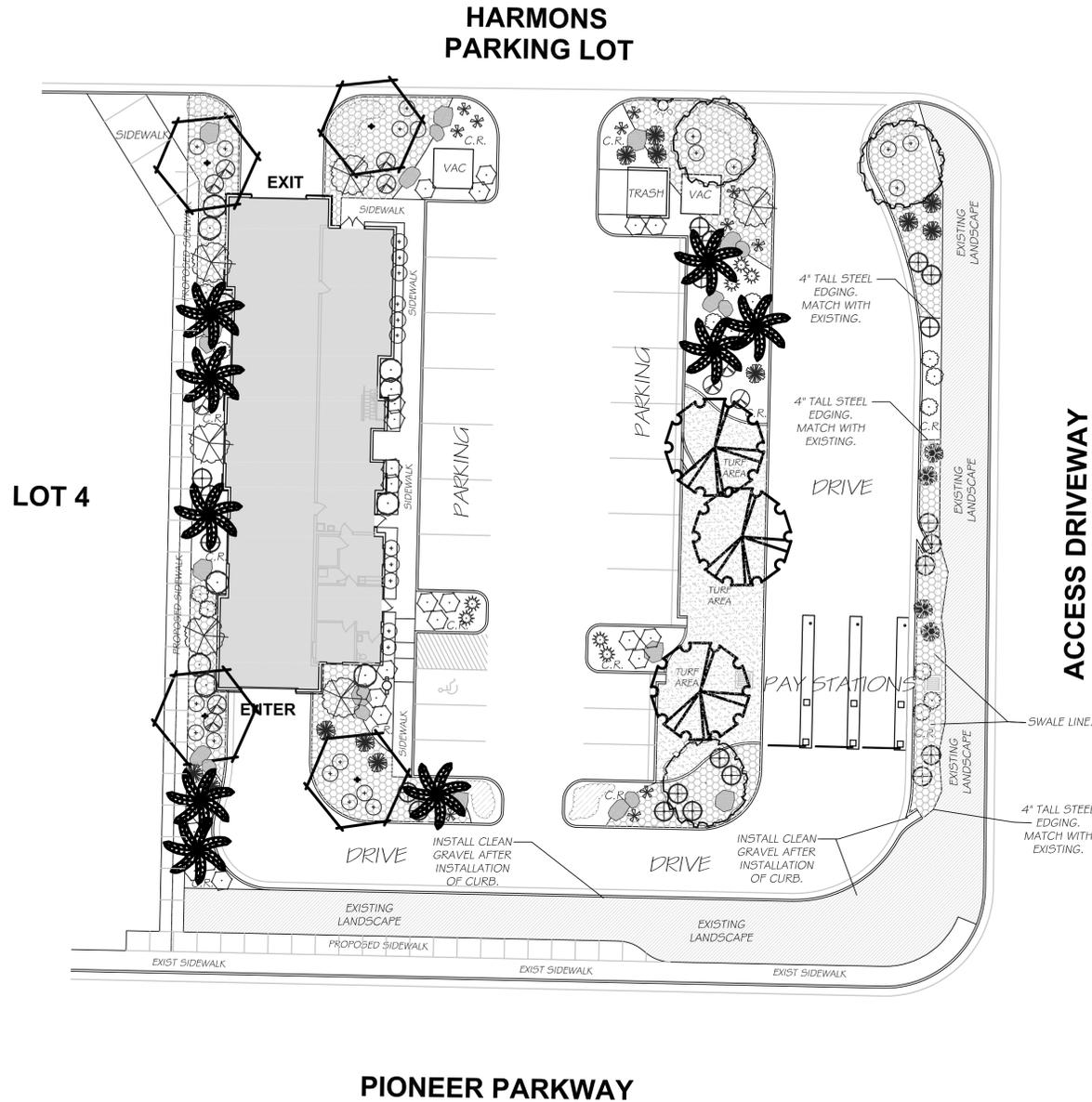
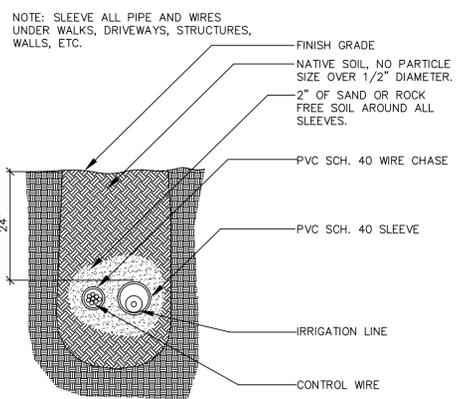
1. CONCRETE CONTRACTOR IS TO ENSURE POSITIVE DRAINAGE AWAY FROM THE BUILDING. LANDSCAPE CONTRACTOR TO ENSURE POSITIVE DRAINAGE AWAY FROM BUILDING TO THE STREET.
2. ALL ROOF DRAINS SHALL BE CONNECTED TO SUBSURFACE DRAINS THAT HAVE POSITIVE DRAINAGE TO THE STREET. ALL ROOF DRAINS AND SUBSURFACE DRAINAGE SHALL BE INSTALLED PRIOR TO INSTALLATION OF CONCRETE SURFACES. LANDSCAPE CONTRACTOR RESPONSIBLE FOR MAINTAINING POSITIVE DRAINAGE TO PLACE OF DISCHARGE. CONCRETE CONTRACTOR TO VERIFY ALL LOCATIONS OF DRAINS WITH LANDSCAPE CONTRACTOR PRIOR TO INSTALLATION OF ANY CONCRETE SURFACE ON THE OUTSIDE OF STRUCTURE.
3. LANDSCAPE CONTRACTOR RESPONSIBLE FOR THE CONNECTION AND LAYOUT OF ALL ROOF DRAINS AND SURFACE DRAINS TO APPROVED LOCATIONS.

# ROCK MULCH NOTE:

1) CRUSHED ROCK (C.R.) - INSTALL A 3" LAYER OF APACHE GOLD 3/4" CRUSHED ROCK IN ALL PLANTERS UNDER ALL TREES AND SHRUBS. KEEP TOP OF ROCK 1" BELOW ADJACENT WALKS AND CURBS. DO NOT ALLOW ROCK TO TOUCH THE TRUNK OF ANY PLANT. INSTALL AFTER INSTALLATION OF PLANT MATERIAL.

# SLEEVING NOTE:

1. ALL SLEEVING SHALL BE INSTALLED PRIOR TO INSTALLATION OF CONCRETE SURFACES. CONCRETE CONTRACTOR TO VERIFY INSTALLATION OF SUCH ITEMS AND LOCATIONS WITH LANDSCAPE CONTRACTOR. LANDSCAPE CONTRACTOR RESPONSIBLE FOR THE PROPER INSTALLATION OF ALL SLEEVES AND SIZES. SEE DETAIL FOR PROPER SIZING.



## TREE LEGEND

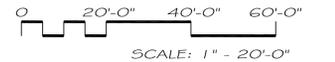
SYMBOL	BOTANICAL / COMMON NAME
	QUERCUS VIRGINIANA SOUTHERN LIVE OAK
	PISTACHE CHINENSIS 'RED PUSH' CHINESE PISTACHE
	WASHINGTONIA FILIFERA CALIFORNIA FAN PALM
	CHITALPA TASHKENTENSIS MULTI PINK DAWN CHITALPA

## SHRUB LEGEND

SYMBOL	BOTANICAL / COMMON NAME	SYMBOL	BOTANICAL / COMMON NAME
	LAGERSTROEMIA INDICA GRAPE MYRTLE		ILEX VOMITORIA DWARF YAUPON HOLLY
	LIGUSTRUM JAPONICUM TEXANUM' TEXAS PRIVET		NERIUM OLEANDER 'PETITE RED' RED DWARF OLEANDER
	RAPHEOLEPIS INDICA 'BALLARIENA' BALLARIENA HAWTHORN		DASYLIRION WHEELERI GREENGRAY DESERT SPOON
	ROSA 'RED CARPET' RED CARPET ROSE		MUHLENBERGIA CAPILLARIS 'REGAL MIST' REGAL MIST GRASS
	LEUCOPHYLLUM 'RIO BRAVO' RIO BRAVO TEXAS RANGER		HESPERALOE PARVIFLORA RED YUCCA

## MATERIAL LEGEND

SYMBOL	BOTANICAL / COMMON NAME
	REBEL RED LANDSCAPE BOULDERS VARY IN SIZE: 50% - 4' X 4' 50% - 3' X 3'
	2"-4" CRUSHED REBEL RED ROCK
	TEUCRIMUM CHAMAEDRYS GERMANDER
	4" TALL STEEL EDGING
	6" CONCRETE MOWCURB



REVISIONS:  
09-18-2020

TAGG-N-GO EXPRESS  
CAR WASH @  
PIONEER PARKWAY  
SANTA CLARA, UTAH

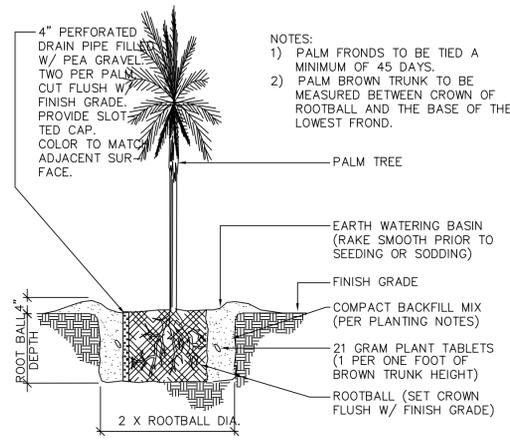
CSLA  
Cody Schmitt  
LANDSCAPE ARCHITECT

CONSULTANTS:

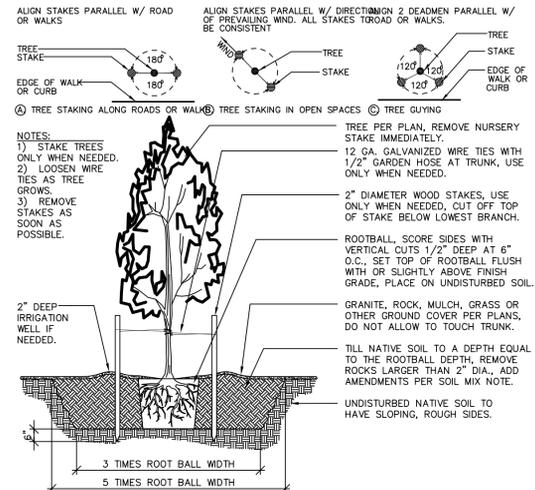
PROJECT:  
TAGG-N-GO  
CAR WASH  
SHEET CONTENTS:  
LANDSCAPE  
PLAN

DATE:  
08/30/2020  
JOB NO.:  
08302020

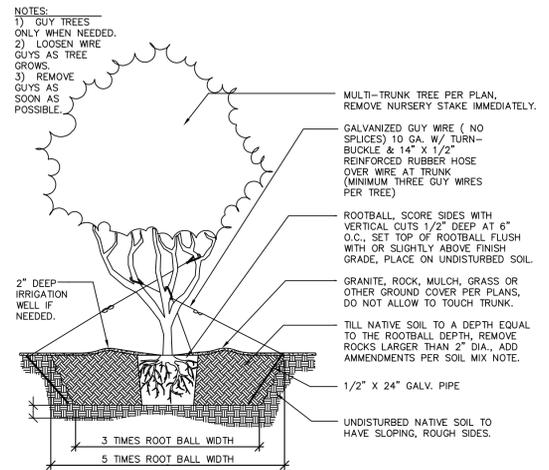
SHEET:  
L1.01



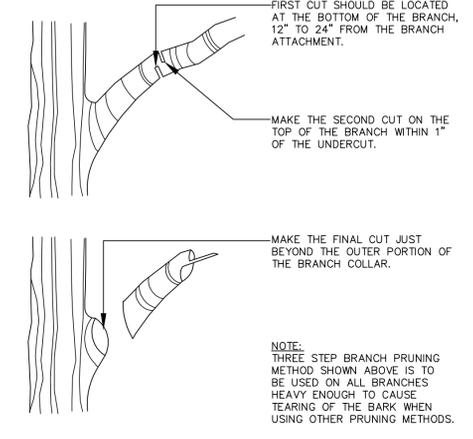
**A** PALM PLANTING DETAIL



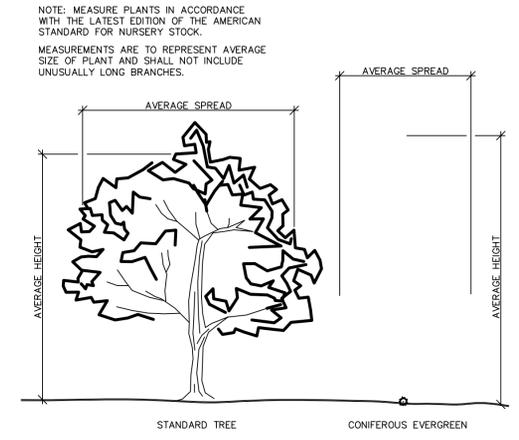
**B** TREE PLANTING DETAIL



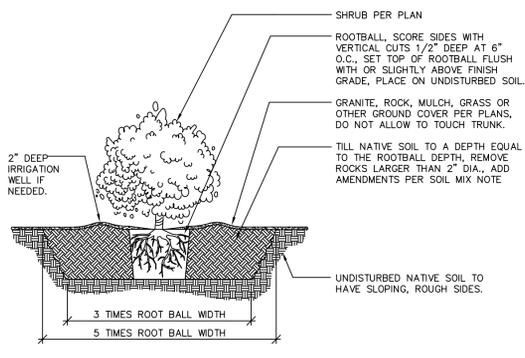
**C** MULTI-TRUNK PLANTING DETAIL



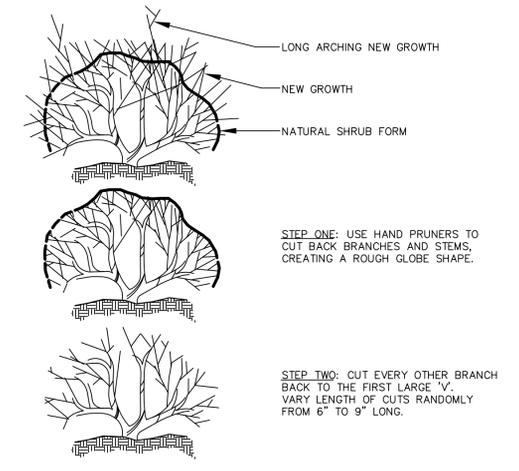
**D** TREE BRANCH PRUNING DETAIL



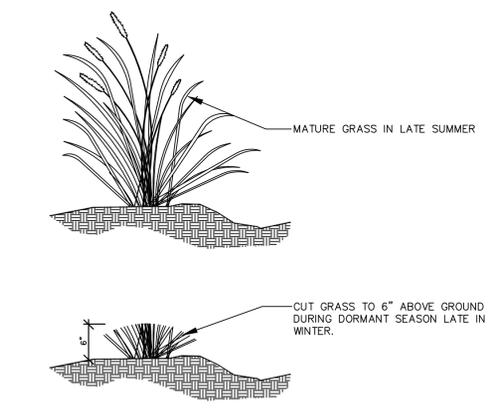
**E** PLANT MEASUREMENT DETAIL



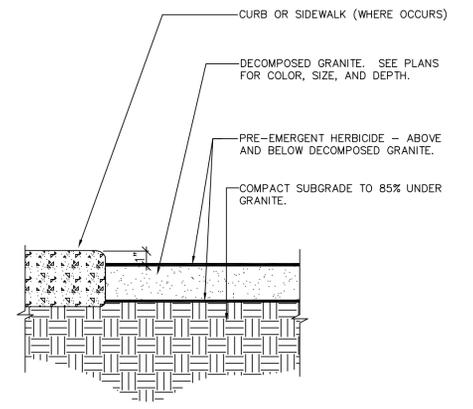
**F** SHRUB PLANTING DETAIL



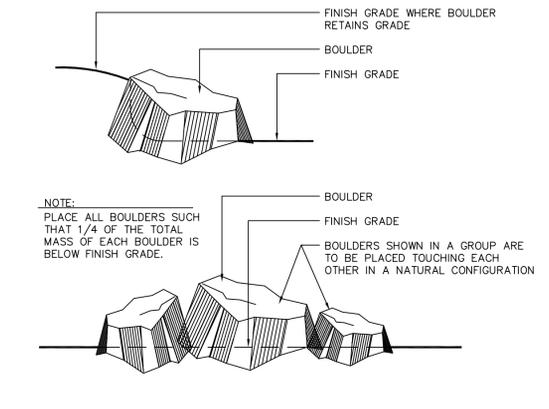
**G** SHRUB PRUNING DETAIL



**H** GRASS PRUNING DETAIL



**I** DECOMPOSED GRANITE DETAIL



**J** BOULDER PLACEMENT DETAIL

BOTANICAL NAME	COMMON NAME	QTY	SIZE (MINIMUM)	COND	DTL	REMARKS
<b>TREES</b>						
CHITALPA TASHKENTENSIS	MULTI PINK DAWN CHITALPA	3	24"	BOX	C,D,E	
LAGESTROMIA INDICA 'MULTI'	RED MULTI CRAPE MYRTLE	8	15	GALLON	C,D,E	
PISTACHE CHINENSIS 'RED PUSH'	RED PUSH PISTACHE	3	24"	BOX	B,D,E	
QUERCUS VIRGINIANA	SOUTHERN LIVE OAK	4	24"	BOX	B,D,E	
WASHINGTONIA FILIFERA	CALIFORNIA FAN PALM	9	4'-0" TO 6'-0" BTH	B&B	A,E	SEE PLANTING PLAN FOR SIZE AND LOCATION
<b>SHRUBS</b>						
ILEX VOMITORIA	DWARF YALPON HOLLY	33	5	GALLON	F,G	
DASYLIRION WHEELERII	DESERT SPOON	18	5	GALLON	F,G	
HESPERALOE PARVIFLORA	RED YUCCA	14	5	GALLON	F,G	
LEUCOPHYLLUM FRUTESCENS 'RIO BRAVO'	RIO BRAVO TEXAS RANGER	17	5	GALLON	F,G	
LIGUSTRUM JAPONICUM 'TEXANUM'	TEXAS PRIVET	10	5	GALLON	F,G	
MUHLENBERGIA CAPILLARIS 'REGAL MIST'	REGAL MIST GRASS	12	5	GALLON	F,G,H	
NERIUM OLEANDER 'PETITE RED'	RED DWARF OLEANDER	22	5	GALLON	F,G	
RAPHIOLEPIS INDICA 'BALLARIENA'	BALLARIENA HAWTHORN	23	5	GALLON	F,G	
ROSA 'RED CARPET'	RED CARPET ROSE	14	3	GALLON	F,G	
<b>GROUND COVERS</b>						
TEUCLIRUM CHAMAEDRYS	GERMANDER	31	1	GALLON	D,E	SPACED @ 30" O.C. 1500 SQFT
<b>BOULDERS</b>						
REBEL RED LANDSCAPE BOULDERS	VARY IN SIZE: 50% - 3' X 3', AND 50% - 2' X 3'	22	3' - 4'		J	

PLANTING LEGEND NOTE: PLANT QUANTITIES ARE FOR REFERENCE ONLY, EXACT PLANT COUNTS ARE THE RESPONSIBILITY OF THE CONTRACTOR.



REVISIONS:  
09-18-2020

TAGG-N-GO EXPRESS  
CAR WASH @  
PIONEER PARKWAY  
SANTA CLARA, UTAH

CSLA  
Cody Schmitt  
LANDSCAPE ARCHITECT

CONSULTANTS:



PROJECT:  
TAGG-N-GO  
CAR WASH

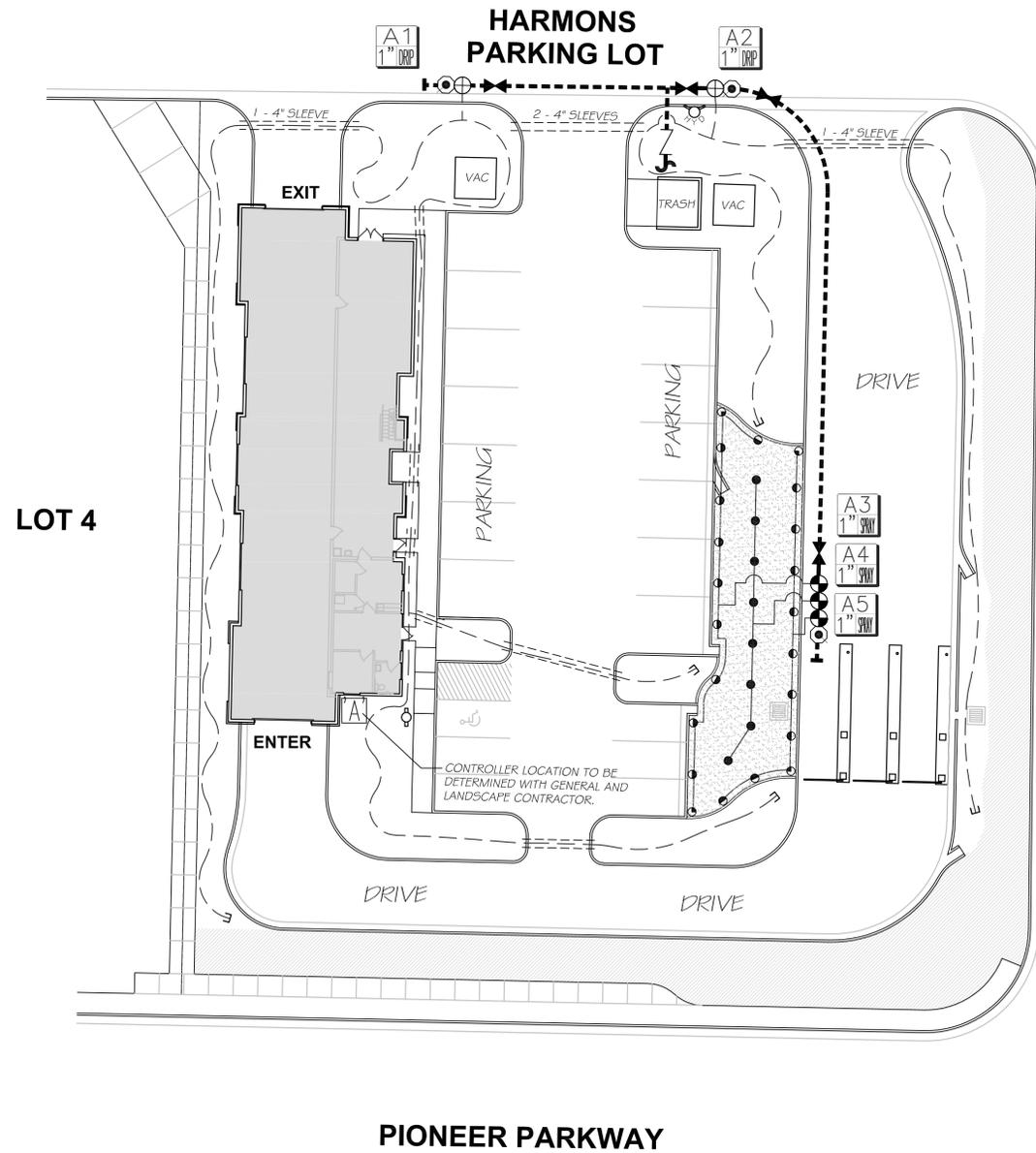
SHEET CONTENTS:  
LANDSCAPE  
DETAILS

DATE:  
08/30/2020  
JOB NO.:  
08302020

SHEET:  
L1.02



REVISIONS:  
09-18-2020



### IRRIGATION LEGEND

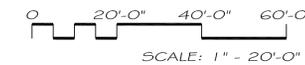
- POINT OF CONNECTION
- RAINBIRD ESP-ME SERIES CONTROLLER
- 1" WILKINS 975XLVSR RPA - REDUCED PRESSURE BACKFLOW DEVICE (SEE DTL. SHEET)
- 1" SCHEDULE 40 PVC BALL VALVE
- 1" SCHEDULE 40 PVC MAINLINE
- 3/4" FLEXIBLE BLUE STRIP DRIP LINE
- 3/4" SCHEDULE 40 PVC LATERAL LINE; UNLESS OTHERWISE NOTED.
- AUTOMATIC FLUSH VALVE IN 10" ROUND BOX (SEE DTL. SHEET FOR SPECS.)
- 1" REMOTE CONTROL VALVE (SEE DTL. SHEET FOR SPECS.)
- 1" DRIP VALVE ASSEMBLY (SEE DTL. SHEET FOR SPECS.)
- HOSE BIB (SEE DTL. SHEET FOR SPECS.)
- SLEEVES 2 X DIAMETER OF PIPE
- RAINBIRD 1804 - 10 VAN SERIES POP-UP SPRAY HEAD

### VALVE ID LEGEND



### NOTES:

- 1) SEE SHEET L2.02 FOR IRRIGATION DETAILS.
- 2) INSTALL MAINLINE ADJACENT TO CURB OR SIDEWALK WHERE POSSIBLE. SEE MAINLINE SPEC. FOR PROPER DEPTH.
- 3) INSTALL CONTROL WIRE ADJACENT TO MAINLINE WHERE POSSIBLE. TAPE EVERY 20'-0"
- 4) IRRIGATION PLAN IS A DIAGRAM REFERENCE ONLY. ACCURATE INSTALLATION IS DEPENDANT UPON OPPORTUNITY AND CONSTRAINTS IN THE FIELD.
- 5) CONTRACTOR RESPONSIBLE TO VERIFY EXACT LOCATION OF SLEEVES WITH GENERAL CONTRACTOR.
- 6) CONTRACTOR TO PROVIDE TEST ON BACKFLOW DEVICE.



Know what's below.  
Call before you dig.

TAGG-N-GO EXPRESS  
CAR WASH @  
PIONEER PARKWAY  
SANTA CLARA, UTAH

CSLA  
Cody Schmitt  
LANDSCAPE ARCHITECT

CONSULTANTS:

PROJECT:  
TAGG-N-GO  
CAR WASH

SHEET CONTENTS:  
IRRIGATION  
PLAN

DATE:  
08/30/2020  
JOB NO.:  
08302020

SHEET:  
L2.01



## **Title 16 SUBDIVISIONS; proposed amendment to allow the City Council to reduce a landscape strip to accommodate a needed turning lane at intersections.**

### **16-24-080: Lot Arrangement:**

(draft #2 proposed new wording is underlined)

B. Lot Dimensions: Lot dimensions shall comply with the minimum standards of the zoning ordinance. Where lots are more than double the minimum required area for the zoning district, the planning commission may require that the lots be arranged to allow further subdivision and the opening of future streets where they would be necessary to serve potential lots, all in compliance with the zoning ordinance and these regulations.

C. Double Frontage Lots: Double frontage lots are lots which have the rear property line adjacent to a public street. Double frontage lots shall not be permitted except where necessary to provide separation of residential development from traffic arterials or to overcome specific disadvantages of topography and orientation. All double frontage lots must be approved by the City Council. A solid block or masonry wall shall be provided on all double frontage lots as a part of the required development of improvements, unless waived or modified by the City Council. Where a privacy wall is constructed, there shall be a landscape strip provided between the sidewalk and privacy wall with a minimum average width of ten feet (10'). The wall may be of serpentine design so that the distance between the wall and sidewalk varies, but the wall shall not be closer to the sidewalk at any point than four feet (4'). The minimum ten foot (10') wide planter strip may include landscape area on both sides of the sidewalk where the sidewalk is separated from the curb by a landscape area.

Where the privacy wall on the adjoining property has a curvilinear or serpentine design, the City Council may require the continuation of such wall design in order to provide for a uniform appearance along the public street.

**Where the city determines that a turning lane is needed at an intersection, the City Council may reduce the landscape strip in order to accommodate the turning lane.**

There shall be a minimum separation of one foot (1') between the sidewalk and privacy wall.

The subdivision developer shall make provisions for the long-term maintenance of the planter strip either through a home owners association (HOA), or other approved maintenance plan, or where the City agrees to provide long term maintenance for the planter area, in which case the developer shall on the final subdivision plat grant to the City a landscape maintenance easement upon all private property which may be on the street side of the privacy wall.

## **Planning Commission agenda report for 10/8/20: 2<sup>nd</sup> Amended Final Plat for Ocotillo Springs phase 3, with 27 townhome units located south of North Town Road and east of 400 East Street on 2.48 acres.**

Zone: PD Residential

General Plan designation: Medium Density Residential (MDR)

Acres: 9.06 acres for entire project (phase 3 is 2.48 ac)

Applicant: Scott Group LLC, Lance Rigby, representative.

Project Engineer: Jared Bates, PE with Rosenberg Associates.

Project location: Project borders 400 East Street and North Town Road, and also adjacent to the proposed Hamblin Parkway.

# of units: 27 units in Phase 3 (in 8 buildings)

**Proposed Amended Final Plat:** The proposed phase 3 plat has 27 two-story townhome units in 8 buildings in the 2.48 acre phase 3 area. The recorded Phase 3 plat has 28 two-story units, all with attached 2-car garages. The proposed amended phase 3 plat has 27 units, six 3-plexes, one 4-plex, and one 5-plex for a reduction of 1 unit. All other items on the recorded plat remain the same.

**Project Amenities:** A clubhouse with pool and restrooms were built as part of the phase 1 project. **An HOA has been formed to maintain the common areas and all landscaping within the project interior and also along the public street frontages (along North Town Road, 400 East Street, and the future Hamblin Parkway).**

**Traffic Access:** All interior roads are public and conform to the city's public street standards. The project is bounded on three sides by existing or proposed public streets, and the project proposes solid block walls around the perimeter of the project; units will back against the exterior streets and have access to the units from an interior loop road which will have two ingress/egress points -- one on North Town Road and the other on 400 East Street.

**Staff recommendation:** The Amended final plat must obtain 100% written consents from existing property owners in order to avoid having a public hearing. The applicant is aware of this state & local requirement and is in process of obtaining the written consents. Subject to obtaining all the written consents, staff recommends approval of the amended final plat for phase 3.



# Residential Subdivision Final Plat Application

Santa Clara City  
2603 Santa Clara Dr  
Santa Clara, UT 84765  
(435) 656-4690 FAX: (435) 879-5298

**Subdivision Name:** Ocotillo Springs Phase 3 - 2nd Amended

## Applicant(s)/Property Owner(s) Information

Name: Lance Rigby  
Address: 2351 Leda Lane  
City: Santa Clara State: UT Zip: 84765  
Phone Number: (435)229-2324

Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_  
Phone Number: \_\_\_\_\_

*(If additional property owners please add addendum)*

## Property Description

Section(s): 8 Township(s): 42 South Range: 16 West  
Current Zoning Designation: PDR Residential - STR  
Parcel Size (acres): 2.48 Acres  
Number of Lots: 27  
Major Cross Street(s): Northtown Rd., 400 East

## Approvals Required By:

- Technical Review Committee (Staff) - meets every Thursday at 8:00 a.m.
- Planning Commission - meets every second Thursday of each month at 5:30 p.m.
- City Council - meets the second and fourth Wednesdays of each month at 5:00 p.m.

**Attached checklists serve as a guide for adhering to Santa Clara City's subdivision process/requirements. City Staff will use the checklists for completeness reviews and insuring code compliance for subdivisions. For comprehensive information on the subdivision requirements/process, refer to appropriate City Codes and Statutes.**

---

Office Use Only:

Date plan submitted: \_\_\_\_\_

Date plan accepted: \_\_\_\_\_

# Subdivision/Development Approval Checklist

## FINAL PLAT CHECKLIST

			<b>I. Final Plat Requirements</b>
Y <input type="checkbox"/>	N <input type="checkbox"/>	N/A <input type="checkbox"/>	A. TRC with developer
Y <input type="checkbox"/>	N <input type="checkbox"/>	N/A <input type="checkbox"/>	A. Submittal of: 1) Engineering Drawings (3 copies); 2) Final Plat (8 11"x17" & 1 8.5"x11"); 3) One (1) Mylar; and 4) Engineer Cost Estimates
Y <input type="checkbox"/>	N <input type="checkbox"/>	N/A <input type="checkbox"/>	B. Completeness Review (Chapter 16.24)
Y <input type="checkbox"/>	N <input type="checkbox"/>	N/A <input type="checkbox"/>	<b>1. Description and delineation (16.20.020)</b>
Y <input type="checkbox"/>	N <input type="checkbox"/>	N/A <input type="checkbox"/>	a. Name of subdivision approved by the Planning Commission
Y <input type="checkbox"/>	N <input type="checkbox"/>	N/A <input type="checkbox"/>	b. Identification system for all lots: name of streets, easements, and lot sizes
Y <input type="checkbox"/>	N <input type="checkbox"/>	N/A <input type="checkbox"/>	c. Traverse of the perimeter of the subdivision
Y <input type="checkbox"/>	N <input type="checkbox"/>	N/A <input type="checkbox"/>	d. Monumentation and survey control
			1. Official Monuments
			2. Street Monuments
Y <input type="checkbox"/>	N <input type="checkbox"/>	N/A <input type="checkbox"/>	e. Dedication to the public of all streets, easements, etc.
Y <input type="checkbox"/>	N <input type="checkbox"/>	N/A <input type="checkbox"/>	f. North arrow, scale, point of beginning, legal description and basis of bearing.
Y <input type="checkbox"/>	N <input type="checkbox"/>	N/A <input type="checkbox"/>	g. Subdivision boundary closures shall be .01 or less on exterior boundaries and .02 on interior lots
			<b>2. Standard Forms (16.20.030)</b>
Y <input type="checkbox"/>	N <input type="checkbox"/>	N/A <input type="checkbox"/>	a. Surveyor's "Certificate of Survey"
Y <input type="checkbox"/>	N <input type="checkbox"/>	N/A <input type="checkbox"/>	b. All centerline data and street widths shown
Y <input type="checkbox"/>	N <input type="checkbox"/>	N/A <input type="checkbox"/>	c. Notary Public's Acknowledgement of all signatures
Y <input type="checkbox"/>	N <input type="checkbox"/>	N/A <input type="checkbox"/>	d. Notarized Consent of all lienholders
Y <input type="checkbox"/>	N <input type="checkbox"/>	N/A <input type="checkbox"/>	e. Planning Commission's "Certificate of Approval"
Y <input type="checkbox"/>	N <input type="checkbox"/>	N/A <input type="checkbox"/>	f. City Engineer's "Certificate of Approval"
Y <input type="checkbox"/>	N <input type="checkbox"/>	N/A <input type="checkbox"/>	g. City Attorney's "Certificate of Approval"
Y <input type="checkbox"/>	N <input type="checkbox"/>	N/A <input type="checkbox"/>	h. City Council's "Certificate of Approval"
Y <input type="checkbox"/>	N <input type="checkbox"/>	N/A <input type="checkbox"/>	i. A one-and-one half by five-inch space in the lower right-hand corner of the plat for the county recorder.
Y <input type="checkbox"/>	N <input type="checkbox"/>	N/A <input type="checkbox"/>	j. County Treasurer's "Certificate of Approval"
Y <input type="checkbox"/>	N <input type="checkbox"/>	N/A <input type="checkbox"/>	k. General Notes – The following general notes must appear on the plat:
			1. Notes pertaining to the issuance of building permit until all utilities are installed
			2. Notes pertaining to unstable soil conditions
			3. Basis of bearings for plat
			4. Property is subject to findings, summary and conclusions of a geotechnical report
			5. R-of-W landscaping requirements & subsequent maintenance requirements

<input type="checkbox"/> Y <input type="checkbox"/> N <input type="checkbox"/> N/A <input type="checkbox"/> Y <input type="checkbox"/> N <input type="checkbox"/> N/A  <input type="checkbox"/> Y <input type="checkbox"/> N <input type="checkbox"/> N/A <input type="checkbox"/> Y <input type="checkbox"/> N <input type="checkbox"/> N/A   <input type="checkbox"/> Y <input type="checkbox"/> N <input type="checkbox"/> N/A <input type="checkbox"/> Y <input type="checkbox"/> N <input type="checkbox"/> N/A	<p><b>3. Additional Information Submitted with Final Plat (16.20.040)</b></p> <p>a. Engineer's itemized estimate of the cost of all required improvements to be developed in the subdivision and a separate cost estimate for any upsizing of piping</p> <p>b. Final utility plans: Water, sewer, power and natural gas</p> <p>c. Final drainage plans</p> <ol style="list-style-type: none"> <li>1. Complete drainage system for entire subdivision</li> <li>2. Comprehensive of drainage system to include area of subdivision but surrounding areas.</li> <li>3. Final Plans and profiles for all streets to be constructed: reviewed and approved by engineer</li> <li>4. Erosion control plan where applicable</li> </ol>
<input type="checkbox"/> Y <input type="checkbox"/> N <input type="checkbox"/> N/A	<p><b>D. Conformance to Applicable Rules and Regulations</b></p>
<input type="checkbox"/> Y <input type="checkbox"/> N <input type="checkbox"/> N/A <input type="checkbox"/> Y <input type="checkbox"/> N <input type="checkbox"/> N/A <input type="checkbox"/> Y <input type="checkbox"/> N <input type="checkbox"/> N/A <input type="checkbox"/> Y <input type="checkbox"/> N <input type="checkbox"/> N/A	<p><b>1. Subdivision plan complies with all applicable laws, plans, and regulations:</b></p> <ol style="list-style-type: none"> <li>a. Zoning Ordinance</li> <li>b. General Plan</li> <li>c. UDOT; Health Department, etc.</li> <li>d. Standards adopted by the City including all boards, commissions, etc.</li> </ol>
<input type="checkbox"/> Y <input type="checkbox"/> N <input type="checkbox"/> N/A	<p><b>E. Self-imposed Restrictions Incorporated – Restrictions:</b></p>
<input type="checkbox"/> Y <input type="checkbox"/> N <input type="checkbox"/> N/A	<p><b>F. Special Conditions Incorporated (ex. Historical district) – E.G.:</b></p>
<input type="checkbox"/> Y <input type="checkbox"/> N <input type="checkbox"/> N/A	<p><b>G. Planning Commission Review and Recommendation- Date(s) of review: Date of Recommendation</b></p>
<input type="checkbox"/> Y <input type="checkbox"/> N <input type="checkbox"/> N/A	<p><b>H. Inclusion of Planning Commission Changes</b></p>
<input type="checkbox"/> Y <input type="checkbox"/> N <input type="checkbox"/> N/A	<p><b>I. Final Plat and Engineer drawings are to comply with all sections of the City's Design Standards found in Chapter 16.24 (Red lines comply)</b></p>
<input type="checkbox"/> Y <input type="checkbox"/> N <input type="checkbox"/> N/A	<p><b>J. Engineering Plans Approved by City Engineer and City Staff</b></p> <p>Public Services                      Date signed: _____</p> <p>Public Safety                         Date signed: _____</p> <p>City Engineer                         Date signed: _____</p>
<input type="checkbox"/> Y <input type="checkbox"/> N <input type="checkbox"/> N/A	<p><b>K. City Council Review and Adoption of Final Plat-Date of Review(s):</b></p> <p>_____ Date of Adoption: _____</p>
<input type="checkbox"/> Y <input type="checkbox"/> N <input type="checkbox"/> N/A	<p><b>L. Inclusion of City Council Changes</b></p>



Santa Clara City  
2603 Santa Clara Drive  
Santa Clara, UT 84765  
435-673-6712

XBP Confirmation Number: **85721035**

▶ Transaction detail for payment to Santa Clara City.		Date: 09/10/2020 - 1:25:13 PM	
<b>Transaction Number: 132874740XA</b> <b>eCheck - Checking — XXXXX6748</b> <b>Status: Successful</b>			
Account #	Item	Quantity	Item Amount
	Zoning Subdivision Fees	1	\$300.00
Notes: Final Plat amendment for Ocotillo Springs phase 3 - Horizon Homes of Utah			

**TOTAL:        \$300.00**

**Billing Information**

Horizon Homes of Utah Horizon  
Homes of Utah  
, 84765  
lancerigbyconstruction@gmail.com

**Transaction taken by:** Selena

**BASIS OF BEARING'S**  
 N 89°17'29" W 1339.27'  
 (N.W. COR. TO 1/4 COR.)

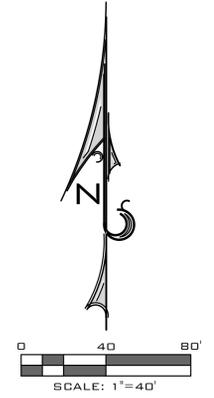
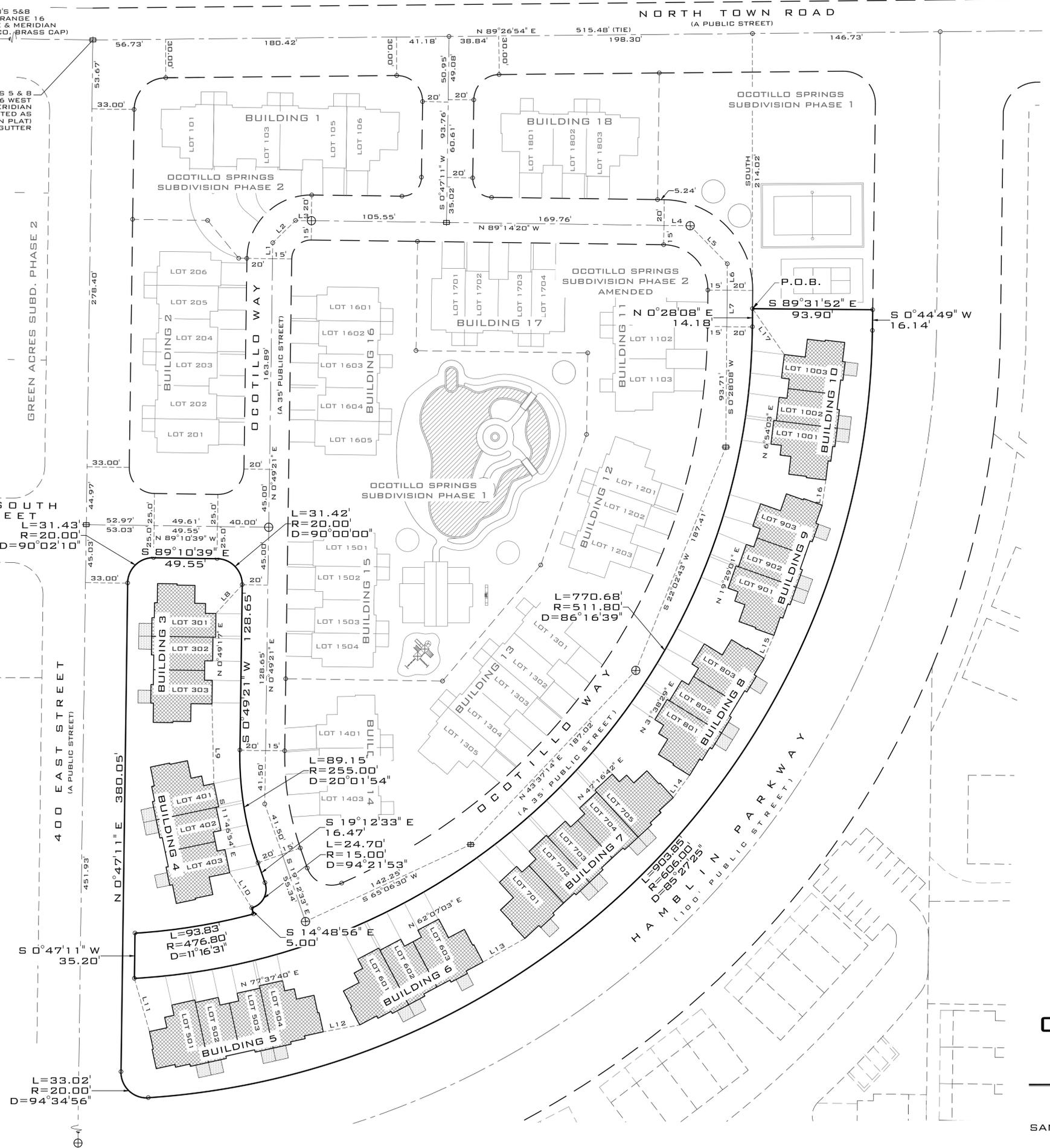
1/16 CORNER SECTION'S 5&8  
 TOWNSHIP 42 SOUTH RANGE 16  
 WEST SALT LAKE BASE & MERIDIAN  
 (FOUND 1972 WASH. CO. BRASS CAP)

1/4 CORNER SECTION'S 5 & 8  
 TOWNSHIP 42 SOUTH RANGE 16 WEST  
 SALT LAKE BASE & MERIDIAN  
 (FOUND "X" IN CL DRAIN ACCEPTED AS  
 PER GREEN ACRES SUBDIVISION PLAT)  
 SET CLASS II IN GUTTER

- LEGEND**
- ▲ FOUND SECTION MONUMENTATION AS SHOWN AND DESCRIBED
  - NOTHING SET OR FOUND
  - ⊕ FOUND STANDARD CITY SURVEY MONUMENT - CLASS II
  - ⊕ FOUND SURVEY CONTROL MONUMENT - CLASS I
  - ▨ PRIVATE AREA
  - COMMON AREA
  - ▨ LIMITED COMMON AREA

**LINE TABLE**

LINE	LENGTH	DIRECTION
L1	12.42'	S 0°49'21" W
L2	24.83'	S 45°47'30" W
L3	12.42'	N 89°14'20" W
L4	20.55'	N 89°14'20" W
L5	41.40'	S 44°23'22" E
L6	20.55'	S 0°28'08" W
L7	28.28'	S 0°28'08" W
L8	30.40'	N 42°46'26" E
L9	61.88'	S 1°19'47" E
L10	32.27'	S 32°14'21" E
L11	43.06'	S 15°49'17" E
L12	29.03'	N 79°17'12" E
L13	37.53'	N 60°42'32" E
L14	21.55'	N 36°31'41" E
L15	19.45'	N 23°01'23" E
L16	19.81'	N 8°11'58" E
L17	43.42'	N 34°53'24" W



**THE FINAL PLAT FOR  
 OCOTILLO SPRINGS  
 SUBDIVISION  
 - PHASE 3 -  
 - 2ND AMENDED -**

LOCATED IN SECTION 8  
 TOWNSHIP 42 SOUTH, RANGE 16 WEST,  
 SALT LAKE BASE AND MERIDIAN,  
 SANTA CLARA CITY, WASHINGTON COUNTY, UTAH.

**ROSENBERG ASSOCIATES**  
 CIVIL ENGINEERS • LAND SURVEYORS

352 EAST RIVERSIDE DRIVE, SUITE A-2, ST. GEORGE, UTAH 84790  
 PH (435) 673-8586 FX (435) 673-8397 • WWW.RACIVIL.COM

SURVEY FILE NUMBER:	9/8/2020 DATE:	B.E.A. DRAWN:
4772-16-011 JOB NUMBER:	1" = 40' SCALE:	B.E.A. CHECKED:

**SANTA CLARA CITY PLANNING COMMISSION  
MEETING MINUTES  
2603 Santa Clara Drive  
Thursday, September 10, 2020**

**Present:** Mark Weston, Chair  
Mark Hendrickson  
Marv Wilson  
Shelly Harris (via Zoom)

**Staff:** Corey Bundy, Community Development Director  
Bob Nicholson, City Planner  
Devin Snow, City Attorney  
Selena Nez, Planning Commission Secretary  
Kristelle Hill, Executive Assistant

**Absent:** Ryan Anderson  
James Call  
Curtis Whitehead

**1. Call to Order.**

Chair Mark Weston called the meeting to order at 5:37 p.m.

**2. Opening Ceremony.**

Mark Weston offered the invocation and led the Pledge of Allegiance.

**3. Communications and Appearances.**

**A. General Citizen Communication.**

There were no citizen comments.

**4. Working Agenda:**

**A. Public Hearings**

- 1. Public Hearing to Receive Public Input to Amend the Planned Development Residential Zone to Allow for an 18-Hole Golf Course within the Proposed Black Desert Project located on the North Side of Pioneer Parkway and Just West of the Present Entrada Development. Patrick Manning, Applicant.**

City Planner, Bob Nicholson presented the staff report and explained that the proposed 18-hole golf course within the proposed Black Desert Project will have 10½ holes located in Santa Clara,

and 7 ½ in Ivins. The zoning request was for the golf course layout and items directly related to the golf course, such as maintenance buildings. Of the 297-acre project area, 76 acres are for the golf course. The proposed amended PD-R zone with the golf course as Phase 1 requires approval from the City Council after they hear the Planning Commission's recommendation.

Mr. Nicholson noted that a Conditional Use Permit is also being considered. He reported that the PD-R section of the City Zoning Code lists golf courses as a Conditional Use in the PD-R zone and the Planning Commission is authorized to approve conditional uses. In Chapter 17.40, Section 17.40.055 of the zoning code lists potentially negative impacts for which conditions can be imposed. Item B in the section addresses the potentially negative impact of dust. The general conditions were as follows:

1. Comply with all state, federal, and local air quality standards; and
2. The use shall not create unusual or obnoxious dust beyond the property line.

Mr. Nicholson explained that watering the excavation area regularly, paving the access roads to the maintenance buildings, and planting grass promptly following the excavation work are all important ways to control dust. The applicant's submitted Dust Control Mitigation Plan, prepared by JP Excavation Company, states that they plan to use all the strategies and assets we have at their disposal to keep fugitive dust from being a concern to those around the project and the community. In addition to the two mitigation standards set forth above, Mr. Nicholson stated that a third condition should be that the Dust Control Mitigation Plan be followed so that dust does not become a problem for the neighbors or the community.

Staff recommended approval of the amended PD-R zone for the golf course layout and related golf facilities, such as the maintenance buildings. For the Conditional Use Permit, the following conditions are suggested to mitigate potential negative impacts of construction:

1. Comply with all Federal and state air quality standards, (b) use shall not create obnoxious dust beyond the property line, (c) comply with their submitted Dust Control plan, (d) pave the road to maintenance buildings prior to obtaining a Certificate of Occupancy for the buildings.
2. Red Mountain Drive should be paved from Pioneer Parkway to the intersection with the road heading to the maintenance building.
3. The Conditional Use Permit is subject to approval by the City Council of the Amended PD-R zone, and approval of the Development Agreement prior to any excavation work.
4. Any excavation into Area 6 on the Black Desert Master Plan shall not commence until zoning and General Plan issues related to Area 6 are resolved by the City Council.

Commissioner Hendrickson asked Mr. Nicholson to discuss the issue with Area 6 and how it would impact the golf course.

Mr. Nicholson explained that there is not necessarily a conflict with Area 6. The Planning Commission recommended, and the City Council approved, the Master Plan for Santa Clara minus Area 6. Most of the golf course's holes appear to be outside of Area 6, and that the applicant is trying to add Area 6 to a conservation easement.

The applicant, Patrick Manning stated that the Development Agreement, which will be provided to the City tomorrow, will state that some height variance in the Hotel 2 site is desired to shift the density to the mining pit from the high-profile area that impacts the viewsheds of residents. In exchange for that height variance, Area 6 will be deeded to the City.

Mr. Manning did not feel that the staff recommendation of paving the short portion of road from Pioneer Parkway to the intersection was necessary as there is no residential development there. He commented that paving seems premature considering it is not being used now except by large excavation trucks.

Mr. Nicholson stated that the issue could be addressed in the Development Agreement. If the City is going to inherit the road, it may be wise not to pave it until after the excavation. He suggested paving it at the end of the project prior to the CO being given for the maintenance building.

Commissioner Wilson asked if the area would contain future roads. Mr. Manning explained that there would have been future roads to service Area 6 but that would no longer need to be serviced. He also pointed out that the maintenance facilities are directly behind the substation.

Community Development Director, Corey Bundy reported that there is dust from a dirt road leading to the Sunbrook Maintenance Building, which is why it was suggested that the road from Pioneer Parkway to the intersection be asphalted.

Mr. Manning stated that they hope to break ground on the Ivins portion of the project on October 1. On March 1, they plan to break ground on the first phase of the Resort Center, which includes a 150-room hotel, three restaurants, a spa, 300 condo/hotel units, and 24,000 square feet of convention space. He noted that they may end up starting in Santa Clara sooner because there is a demand for single-family homes on the golf course and the Santa Clara portion of the project is where they will develop those homes.

When asked about the golf course, Mr. Manning stated that it will likely be public for the first several years. The course will not have memberships and will be a resort course for hotel guests or property owners. He added that the City has a copy of the construction drawings for the golf course, which include the design of the cart paths and roads.

Chair Weston opened the public hearing. There were no public comments. The public hearing was closed.

2. **Public Hearing to Receive Public Input on a Proposed Amendment to Section 17.66.040 to Require a Building Elevation Drawing as Part of the Site Plan Process in a Standard Commercial Zone.**

Community Development Director, Corey Bundy presented the proposed amendment to the Santa Clara City Zoning ordinance, Chapter 17.66 Commercial Zone, Section 17.66.040, which would require a building elevation drawing as part of the site plan approval process in a standard commercial zone.

The proposed new wording was as follows (underlined):

E. Site plan and building elevations approval:

1. A site plan along with building elevations shall be submitted, drawn to scale, and of sufficient size and detail to show building appearance and location, yard setbacks, ingress and egress drives, parking areas, landscaped areas, and such other improvements as may be required relating to specific use proposed.
2. The site plan, ~~or an additional plan drawn to the same scale,~~ shall show utility locations, including water, power, telephone, cable TV, natural gas, sewer, fire hydrants, street improvements, and such other public improvements as may be required. The building elevations plan shall show and describe the exterior building materials and colors, including roof materials and exterior appearance for all sides of a proposed building.
3. The planning commission shall review and approve all plans prior to the issuance of any building permit for site improvement, or construction permit for utility systems and building construction. (Ord. 2017-05: Ord. 2004-03 § 2)

City Attorney, Devin Snow explained that the proposed amendment requires applicants to submit elevations, however, if the Planning Commission wants to impose criteria, such as for specific colors or materials, more would need to be done. This amendment requires applicants to submit drawings but if drawings are submitted that the Commission does not like, they would still need to be approved if they comply with the ordinances.

Mr. Nicholson stated that a paragraph with criteria was drafted, but when it was taken to TRC, the major had concerns that it might stifle an applicants' creativity, so the paragraph was removed. However, he noted that the amendment would still require an applicant to present an elevation drawing, which can be critiqued.

Commissioner Hendrickson stated that if a new applicant comes in with a zone change, the Planning Commission would not have to approve the plan if they do not like the way it looks. Mr. Snow agreed that was true but only in the context of a zone change. If the piece was already zoned for commercial and the Commission did not like the way the plan looked but it complied with the ordinances, it would still have to be approved.

Commissioner Wilson liked the wording of the proposed amendment is worded because it provides the Commission with some leverage. Commissioner Hendrickson agreed that it sets better guidelines than in the past. Mr. Snow noted that most developers and applicants are willing to allow for some give and take, so it is valuable in that respect. However, the proposed amendment cannot force a developer to compromise if they are unwilling to do so.

Chair Weston opened the public hearing. There were no public comments. The public hearing was closed.

**B. General Business**

**1. Recommendation to City Council to Amend the Planned Development Residential Zone to Allow for an 18-Hole Golf Course within the Proposed Black Desert Project located on the North Side of Pioneer Parkway and Just West of the Present Entrada Development. Patrick Manning, Applicant.**

Commissioner Hendrickson moved to recommend that the City Council approve the amended Planned Development Residential Zone for an 18-hole Black Desert Golf Course, of which 10½ holes will be located within Santa Clara Boundaries and the other 7½ holes within Ivins boundaries. Approval was subject to the condition that the proposed amended PD-R zone and the Development Agreement of Phase 1 are approved by the City Council after today's hearing. Commissioner Harris seconded the motion. The motion passed with the unanimous consent of the Commission.

**2. Consideration of a Conditional Use Permit Request to Construct an 18-Hole Golf Course as Part of the Black Desert Project. Patrick Manning, Applicant.**

Commissioner Wilson moved to recommend approval of the Conditional Use Permit to construct an 18-hole golf course as part of the Black Desert Project subject the following conditions:

1. The use shall not create obnoxious dust beyond the property line.
2. Red Mountain Drive shall be paved before a Conditional Use Permit will be issued for the Maintenance Building.
3. Subject to City Council approval of the previous recommendation.
4. No excavation shall take place in Area 6.

Commissioner Harris seconded the motion. The motion passed with the unanimous consent of the Commission.

Mr. Manning clarified that the golf course will have 19 holes with the 19<sup>th</sup> hole being located in Ivins.

**3. Recommendation to City Council on a Proposed Amendment to Section 17.066.040 to Require a Building Elevation Drawing as Part of the Site Plan Process in a Standard Commercial Zone.**

Commissioner Wilson moved to recommend that the City Council approve the proposed amendment to Section 17.66.040 to require a building elevation drawing as part of the site plan process in a Standard Commercial Zone, as presented tonight. Commissioner Harris seconded the motion. The motion passed with the unanimous consent of the Commission.

**5. Discussion Items**

**A. What Topics or Issues Does the Planning Commission want to Discuss in Future Trainings.**

Chair Weston announced that a training session for the Planning Commission with the City Council is scheduled for October 7.

Mr. Nicholson presented a list of potential future training topics, including the following:

1. Planning Commission responsibilities, General Plan, zoning, 20 things to improve a Planning Commission, ethics, etc.;
2. General Plan: purpose, the process to prepare, and update;
3. Zoning map and ordinance;
4. Conditional Uses and legal standards;
5. State law (“LUDMA”) UCA 10-9a-101;
6. Subdivision ordinance;
7. Appeals and variances, appeal authority;
8. Land Use Authority, role, and when the Planning Commission is the Land Use Authority;
9. Planning terminology; and
10. Other topics.

Mr. Nicholson suggested that during Planning Commission Meetings that have few agenda items, one or two of the topics could be added for training and discussion purposes over the next several

months. Commissioner Hendrickson expressed his support for that idea. He thought that a review of the code and zoning would also be helpful as well as a discussion of how the City Council and the Planning Commission each interpret the City's General Plan.

Chair Weston stated that the Planning Commission is like a filter to ensure that projects are qualified before they reach the City Council. He added that the Mayor has indicated that he supports what the Planning Commission is doing and has encouraged them to continue working toward the General Plan. Commissioner Hendrickson agreed but hoped that the Planning Commission would gain a better understanding of what the City Council thinks about the General Plan. Chair Weston stated that the advantage of councils and commissions is that they are composed of a variety of people with different outlooks and experiences, which makes for a wider range of viewpoints.

Commissioner Wilson pointed out that the City Council and Planning Commission have different tasks. The City Council can override the Planning Commission's recommendations which is how it is designed.

Mr. Nicholson stated that at the next Planning Commission Meeting in October, 30 minutes could be spent on the training topic of discussing the General Plan and potential zoning if time permits.

**6. Approval of Minutes.**

**A. Request Approval of the August 13, 2020, Regular Meeting Minutes.**

**Commissioner Wilson moved to approve the minutes of August 13, 2020. Commissioner Hendrickson seconded the motion. The motion passed with the unanimous consent of the Commission.**

**7. Adjournment**

The Planning Commission Meeting adjourned at approximately 6:26 p.m.

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Corey Bundy  
Community Development Director

Approved: \_\_\_\_\_